

MANASQUAN PLANNING BOARD MEETING AGENDA

DECEMBER 05, 2023 7:00 PM – TUESDAY

Please take notice that the Manasquan Planning Board will convene an in person meeting on December 05, 2023 7:00 PM at Borough Hall, Second Floor, 201 East Main Street, Manasquan, New Jersey. As a courtesy to the public this meeting may be attended via zoom. If the zoom meeting fails or gets disconnected the in-person meeting will continue without the zoom participants. You can access the meeting through the Zoom App by following the link below for your computer or phone.

Join Zoom Meeting

<https://us06web.zoom.us/j/8243299920?pwd=QUxNUjlGbkNLQS9TRVBIWHVtbUd3Zz09>

OR

Tel – 1-646 876 9923 US (New York)

Meeting ID: 824 329 9920

Passcode: 365120

PUBLIC MEETING

Salute to the Flag

Roll Call

Sunshine Law Announcement

OLD/NEW BUSINESS

1. Approval of Vouchers
2. Regular Meeting Minutes - November 16,2023
3. 126 Morris Avenue - Request for 9 Month Extension - Application #20-2022

RESOLUTION

4. #31-2023 Ocean Bay Developers, LLC - 10 Branin Avenue - Block 23 Lot 7.05 - Application #15-2023

APPLICATION

5. #13-2023 Kelly, Kathleen - 163 McLean Avenue - Block 158 Lot 11
6. #17-2023 - Van Vleit, Shaun - 39 S. Jackson Avenue - Block 120 Lot 17.01
7. #18-2023 227 E. Main LLC - 227 E. Main Street - Block 89 Lot 1

OTHER BUSINESS

Comments from individual board members

ADJOURNMENT

July 27, 2023

Barbara Ilaria, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

B.O.M. RECEIVED
M&G _____ ADM _____
CLERK _____ CFO _____

JUL 31 2023

DPW _____ CONST _____
PD _____ OTHER _____

Re: Boro File No. MSPB-R2110
Variance – Kelly
Block 158, Lot 11
163 McLean Avenue
R-1 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Pool Plot Plan prepared by Robert Burdick, PE, PP, of the R.C. Burdick, PE, PP, PC, dated May 30, 2023.

The property is located in the R-1 Residential Zone with frontage on McLean Avenue. With this application, the applicant proposes to construct a new 14' by 28' in-ground pool, concrete patio, stormwater recharge system, and associated site improvements. The application is deemed complete on July 27, 2023.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-1 Residential Zone, where the existing and proposed residential use is permitted.
2. The following variances are required as part of this application:
 - a. A maximum lot coverage of 35% permitted, whereas a lot coverage of 68% is proposed (55.5% exists).
 - b. A minimum patio setback of 5 feet is required, whereas a setback of 2 feet is proposed (west side).
3. The following non-conformities exist on Lot 11 and will not be modified as part of this application:
 - a. A minimum front yard setback of 25 feet is required, whereas a setback of 17.35 feet exists.




Re: Boro File No. MSPB-R2110
Variance – Kelly
Block 158, Lot 11

July 27, 2023
Sheet 2

4. The applicant proposed to construct a concrete patio around the proposed pool which increases the lot coverage variance requested for the lot. The applicant may wish to consider a paver patio or other pervious surface to minimize the requested variance.
5. The pool mechanical equipment will be located in the rear yard to the east of the proposed pool.
6. The proposed grading of the lot does not appear that it will alter the existing drainage patterns, however the applicant's engineer should confirm this and indicate that there will be no negative effects to neighboring properties.
7. The plan provides for a recharge system consisting of two yard inlets and perforated pipe behind the pool and patio. The applicant should be aware that a two-foot separation from seasonal high groundwater must be maintained to the bottom of the proposed system.
8. The applicant should indicate if any trees are proposed to be removed as part of the application.
9. Any curb and sidewalk must be replaced along McLean Avenue as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Robert Burdick, PE, PP
R.C. Burdick, PE, PP, PC, 1023 Ocean Road, Point Pleasant, NJ 08742
Kathleen.Kelly
163 McLean Avenue, Manasquan, NJ 08736

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

*Applicant's Name: KATHLEEN KELLY

*Applicant's Address: 163 McLEAN AVE

*Telephone Number: Home: _____ Cell: 201-892-6559

*e-mail Address: KATHY KELLY 0421@gmail

*Property Location: 163 McLEAN AVE

*Block: _____ Lot: _____

*Type of Application: Swimming pool
Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-
Site Plan Approval

*Date of Zoning Officer's Denial Letter: 6-20-23
Attach Zoning Permit Application

*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

*Is the Applicant the Landowner? YES

*Does the Applicant own any adjoining land? No

*Are the property taxes paid to date? YES

*Have there been any previous applications to the Planning Board concerning this property? _____
(Attach copy)

**Are there any Deed Restrictions, Easements, or Covenants affecting this
property? No
(Attach copy)

*The applicant agrees to be responsible for and pay for the costs entailed in the review of this
application by any experts retained by the Planning Board for advice in this matter.

Kathleen Kelly
Signature of Applicant or Agent

7-17-23
Date

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

June 20, 2023

Kathleen Kelly
267 Ege Avenue
Jersey City, NJ 07304

Re: Block: 158 Lot: 11 Zone: R-1 Flood Zone: AE BFE: 9ft. DFE: 10ft.
163 McLean Avenue

Dear Ms. Kelly:

On this date we reviewed your application for the following project.

Install an inground pool and concrete patio in the rear yard.

Pool plot plan prepared by Robert Burdick on May 30, 2023. Pool plans prepared by Robert Burdick and dated May 2023.

Application denied for the following reason(s):

Section 35-9.4- Front Setback – 25ft. Required
17.35ft. Existing

“ - Lot Coverage – 35% Permitted
55.5% Existing
68% Proposed

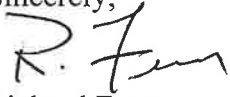
Section 35-11.8J – Requires that the patio must be setback a minimum of 5ft from the side property line.

Additional required documentation:

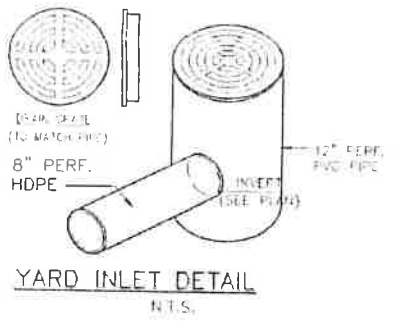
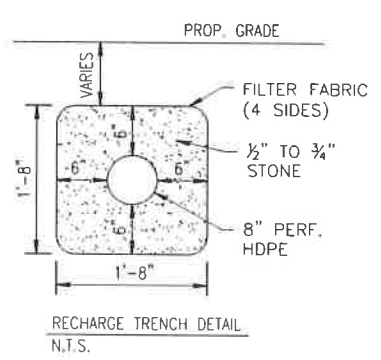
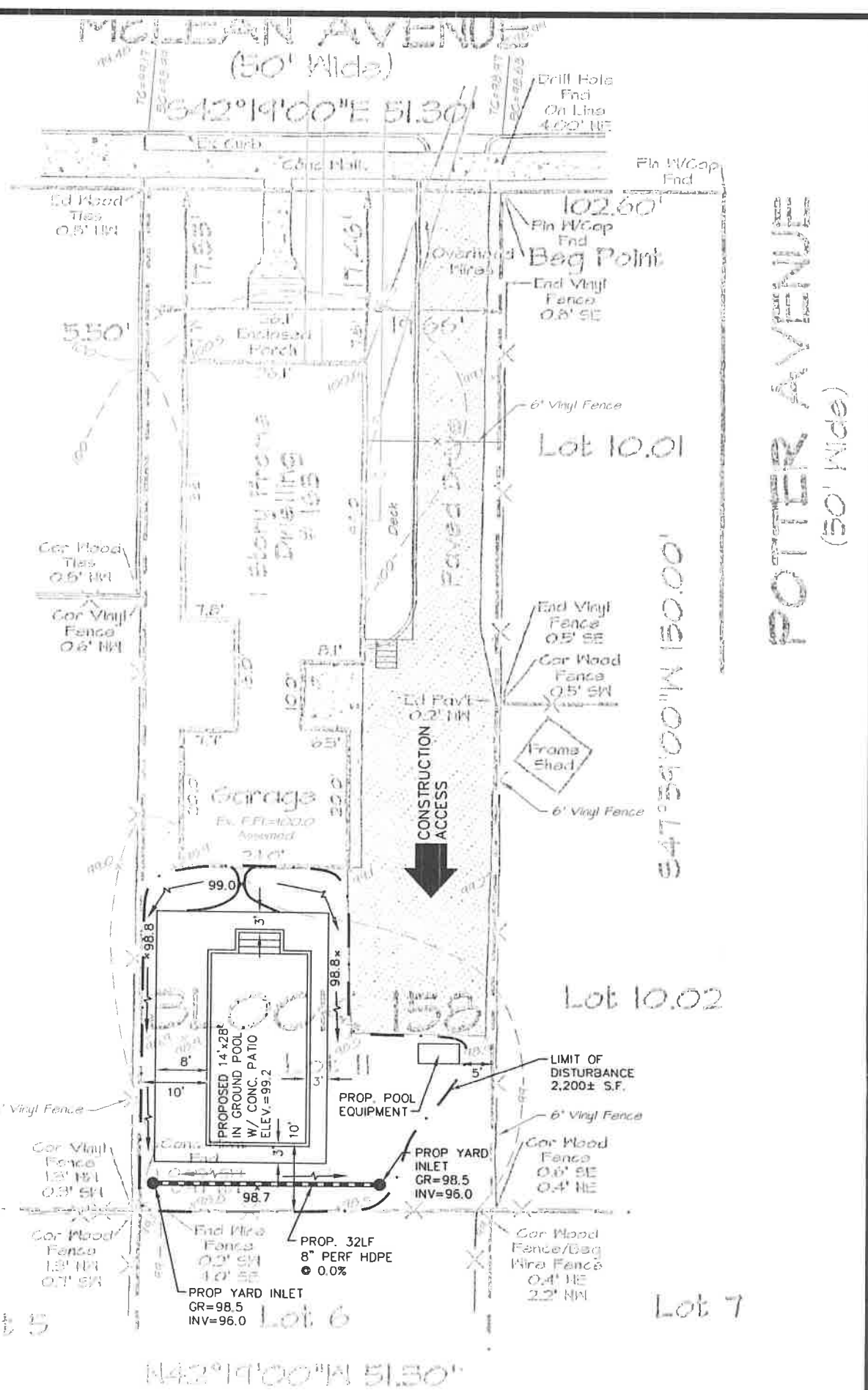
- Prior approval from the Shade Tree Committee regarding the removal of any trees as part of the project.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,

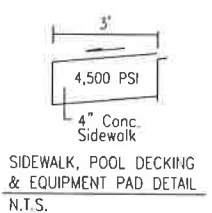
A handwritten signature in black ink, appearing to read "R. Furey". The signature is written in a cursive style with a large initial "R" and a long, sweeping tail.

Richard Furey
Zoning/Code Enforcement Officer



NOTES:

- Property Owner: Kathleen Kelly
163 McLean Ave.
Manasquan, N.J. 08736
- Grading plan based on "Plan of Survey Made For Lot 11 in Block 158 (T.M.) Situated in Borough of Manasquan - Monmouth County, NJ" performed by Dowling Assoc. Inc. signed by Raymond Swiderski, NJPLS No. 18263 and dated 2/19/2008. Topography and partial survey update performed by RC Burdick & Assoc. by Mr. Stanley Hans Jr. NJPLS No. 29182 on 5/16/2023.
 - Contractor to verify location of all utilities prior to start of construction. Utilities shown are per visual observation of physical features and/or mark outs and their location is approximate. The under signed professional are not responsible for the presence of underground utilities or structures if they are not visible or otherwise disclosed by any of the above data. Pool contractor shall utilize the serviced of CALL DIG (1-800-272-1000) to accurately locate utilities.
 - Pool to be secured by minimum 4' fence with self latching and closing gates by property owner. Fence and all construction shall comply with the International Building Code and the International Residential Code, New Jersey Edition, including ANSI/NSPI-5 Standards for Residential In Ground Swimming Pools, current edition. Where adjacent fences are used to secure the pool the applicant shall take full responsibility for repair or replacement should they be damaged or removed and shall seek a variation for the fence where required.
 - All electrical equipment must be located at least 10' from the swimming pool.
 - The contractor shall protect all existing structures from damage and/or failure by acceptable methods as may be required per OSHA and other regulatory agencies. The Design Engineer accepts no responsibility for the safety or adequacy of the existing structures.
 - The Design Engineer assumes no responsibility for pool construction in easements or required setback areas not shown on the survey provided to the Design Engineer. The pool contractor and property owner shall verify the pool layout and all dimensions prior to construction.
 - Property owner responsible for all environmental permits. The determination of the presence or absence of wetlands, stream encroachment lines, buffer lines or easements not shown on the survey supplied by the Property Owner was outside of the scope of the project.
 - By use of this Plan for the purpose of obtaining a Permit to construct, the Property Owner and Pool Company agree to the proposed pool location, concrete, operating equipment and grading associated with the proposed swimming pool.
 - Minimum 1.0%, maximum 4:1 grading provided in area that is to be disturbed by pool construction. Concrete areas to be minimum 0.5% grade.
 - Pool filter discharge to be by flexible hose or filter to be cartridge filter with no discharge.



SEEDING MIXTURES FOR HOME LAWNS
ALL SEED MUST BE INCORPORATED OR RAKED INTO THE SOIL

PLANT SPECIES	SEEDING RATE (POUNDS PER 1000 SQUARE FEET)
MIX #1 TALL FESCUE (TURF TYPE)	6.0
PERENNIAL RYEGRASS	0.5
KENTUCKY BLUEGRASS	0.5
TOTAL	7.0 POUNDS PER 1000 SQ.FT.
MIX #2 HARD FESCUE	3.0
(STRONG) CREEPING RED FESCUE	1.0
CHEWINGS FESCUE	1.0
PERENNIAL RYEGRASS	0.25
TOTAL	5.25 POUNDS PER 1000 SQ.FT.
MIX #3 HARD FESCUE	4.0
PERENNIAL RYEGRASS	1.0
KENTUCKY BLUEGRASS	1.0
TOTAL	6.0 POUNDS PER 1000 SQ.FT.

LEGEND

- 99.6x Exist. El. (ft.)
- 99.6x Prop. El. (ft.)
- 99 - - - Exist. Contour
- 99 — Prop. Contour
- Prop. Flow Arrow

No.	Date	Description	By

Lot 11 Block 158 Borough of Manasquan Monmouth County, NJ	Pool Plot Plan 163 McLean Avenue	DATE: 5/30/2023
R.C. BURDICK, P.E., P.P., P.C. CONSULTING ENGINEERS SURVEYORS PLANNING ENVIRONMENTAL PERMITTING	<i>[Signature]</i> ROBERT C. BURDICK P.A. PROFESSIONAL ENGINEER #049541-E N.J. PROFESSIONAL ENGINEER #30929 N.J. PROFESSIONAL PLANNER #04383	JOB No. 23-1347
1023 OCEAN ROAD POINT PLEASANT, NJ 08742 (732)892-5050 FAX (732)892-5888		SHEET 1 of 1

B.O.M. RECEIVED
M&G _____ ADM _____
CLERK _____ CFO _____

OCT 11 2023

October 11, 2023

DPW _____ CONST _____
PD _____ OTHER _____

Barbara Ilaria, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R2140
Minor Subdivision – VanVliet
Block 120, Lot 17.01
39 South Jackson Avenue
R-2 Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Survey of Property, prepared by David Von Steenburg, of Morgan Engineering & Surveying, dated May 4, 2023.
2. Minor Subdivision Plan, prepared by David Von Steenburg, of Morgan Engineering & Surveying, dated September 15, 2023.

Existing Lot 17.01 contains 10,000 square feet and fronts on Cedar Avenue and South Jackson Avenue. With this application, the applicant intends to create two new conforming lots, proposed Lot 17.03 containing 5,000 square feet with frontage on Cedar Avenue, and proposed Lot 17.02 containing 5,000 square feet with frontage on Cedar Avenue and South Jackson Avenue.

The application is deemed complete as of October 11, 2023.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 - Residential Zone, where the existing and proposed residential lots are permitted.
2. The following variances are required as part of this application:
 - a. A minimum side yard setback of 5 feet is required, whereas a setback of 4.88 feet is proposed to the existing dwelling (west).
 - b. A maximum building coverage of 30% permitted, whereas a lot coverage of 31.2% is proposed on Lot 17.02.




Re: Boro File No. MSPB-R2140
Minor Subdivision – VanVliet
Block 120, Lot 17.01

October 11, 2023
Sheet 2

3. The following non-conformities exist and will not be modified as part of this application:
 - a. A minimum rear yard setback of 20 feet is required, whereas a setback of 6.51 feet exists to the existing dwelling.
 - b. A minimum side yard setback of 15 feet is required (corner lot), whereas a setback of 12.8 feet exists to the existing dwelling.
4. The applicant should indicate if the subdivision is to be filed by map or by deed. If filed by deed, copies of the deeds and deed descriptions must be submitted to our office and the Board Attorney for review. The deed descriptions must be prepared by a Professional Land Surveyor licensed in the State of New Jersey. If it is to be filed by map, all necessary revisions to the plat must be made so that it conforms to the current Title Recordation Law requirements.
5. A monument is shown to be set at the intersection of the proposed lot line and the right-of-way line of Cedar Avenue. A monument should also be set at the new lot line intersection at the rear of the property. I suggest any monuments be set prior to the map being signed by the Board. The applicant should indicate their intent of when the monument will be set. If they are proposed to be set after the perfection of the subdivision, a bond must be posted with the Borough.
6. The existing chain link fence which crosses the proposed property line should be removed. The wire fence along the western and rear property line also appears to meander onto adjacent lots.
7. The applicant should be aware that if any future does not meet the zoning requirements (setbacks, coverage, etc.), a separate application to the Board will be required. Grading plans and front yard landscaping plans will also be required.
8. The proposed revised lot numbers must be reviewed and approved by the tax office.
9. All necessary outside agency approvals must be obtained for this project. These may include, but not be limited to the following:
 - a. Monmouth County Planning Board – Final Approval

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,


ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN



Re: Boro File No. MSPB-R2140
Minor Subdivision – VanVliet
Block 120, Lot 17.01

October 11, 2023
Sheet 3

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Timothy Middleton, esq.
2517 Highway 35, Building K, Suite 101, Manasquan, NJ 08736
David VonSteenburg, PLS
Morgan Engineering & Surveying, PO Box 5232, Toms River, NJ 08754
Shaun VanVliet
51 Dale Drive, Chatham, NJ 07928

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-05
Fax 732-223-1300

FRANK F. DiROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

Item 6.

August 16, 2023

Shaun VanVliet
51 Dale Drive
Chatham, NJ 07928

Re: Block: 120 Lot: 17.01 Zone: R-2 Flood Zone: AE BFE: 9ft. DFE: 10ft.
39 South Jackson Avenue

Dear: Sir

On this date we reviewed your application for the following project.

Remove all of the encroachments on proposed lot 17.03 and subdivide Block 120 - Lot 17.01 into two fully conforming lots in the R-2 Zone. (Proposed Lot 17.02 – 5,000s.f.) - (Proposed Lot 17.03- 5,000s.f.)

Application denied for the following reason(s):

Section 32-8.1 – Requires Planning Board approval for the proposed minor subdivision.

Survey prepared by David VonSteenburg on May 4, 2023. Minor subdivision plot plan prepared by David VonSteenburg on May 4, 2023.

Proposed Lot 17.02

Section 35-9.4 – Rear Setback – 20ft. Required
6.51ft. Proposed

- “ - Side Setback (Left) – 5ft. Required
4.88ft. Proposed
- “ - Building Coverage – 30% Permitted
31.2% Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,

A handwritten signature in black ink, appearing to read "R. Furey". The signature is written in a cursive style with a large initial "R" and a long, sweeping underline.

Richard Furey
Zoning/Code Enforcement Officer

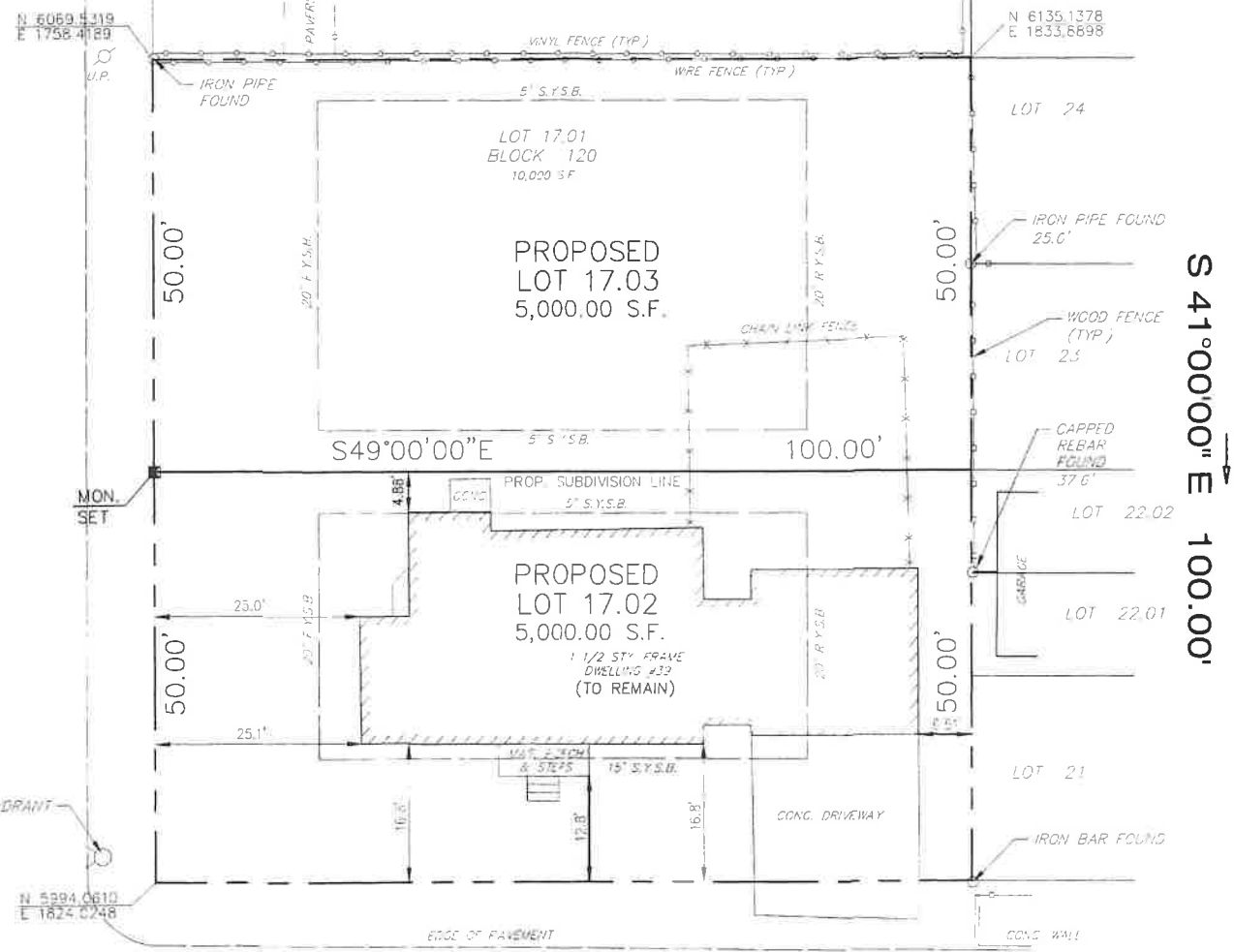
PROPERTY OWNERS WITHIN 200 FT.

BLK	LOT	OWNER	ADDRESS
115	1	Current Owner	344 EUCALYPTUS AVE
115	2	Current Owner	344 EUCALYPTUS AVE
115	3	Current Owner	344 EUCALYPTUS AVE
115	4	Current Owner	344 EUCALYPTUS AVE
115	5	Current Owner	344 EUCALYPTUS AVE
115	6	Current Owner	344 EUCALYPTUS AVE
115	7	Current Owner	344 EUCALYPTUS AVE
115	8	Current Owner	344 EUCALYPTUS AVE
115	9	Current Owner	344 EUCALYPTUS AVE
115	10	Current Owner	344 EUCALYPTUS AVE
115	11	Current Owner	344 EUCALYPTUS AVE
115	12	Current Owner	344 EUCALYPTUS AVE
115	13	Current Owner	344 EUCALYPTUS AVE
115	14	Current Owner	344 EUCALYPTUS AVE
115	15	Current Owner	344 EUCALYPTUS AVE
115	16	Current Owner	344 EUCALYPTUS AVE
115	17	Current Owner	344 EUCALYPTUS AVE
115	18	Current Owner	344 EUCALYPTUS AVE
115	19	Current Owner	344 EUCALYPTUS AVE
115	20	Current Owner	344 EUCALYPTUS AVE
115	21	Current Owner	344 EUCALYPTUS AVE
115	22	Current Owner	344 EUCALYPTUS AVE
115	23	Current Owner	344 EUCALYPTUS AVE
115	24	Current Owner	344 EUCALYPTUS AVE
115	25	Current Owner	344 EUCALYPTUS AVE
115	26	Current Owner	344 EUCALYPTUS AVE
115	27	Current Owner	344 EUCALYPTUS AVE
115	28	Current Owner	344 EUCALYPTUS AVE
115	29	Current Owner	344 EUCALYPTUS AVE
115	30	Current Owner	344 EUCALYPTUS AVE
115	31	Current Owner	344 EUCALYPTUS AVE
115	32	Current Owner	344 EUCALYPTUS AVE
115	33	Current Owner	344 EUCALYPTUS AVE
115	34	Current Owner	344 EUCALYPTUS AVE
115	35	Current Owner	344 EUCALYPTUS AVE
115	36	Current Owner	344 EUCALYPTUS AVE
115	37	Current Owner	344 EUCALYPTUS AVE
115	38	Current Owner	344 EUCALYPTUS AVE
115	39	Current Owner	344 EUCALYPTUS AVE
115	40	Current Owner	344 EUCALYPTUS AVE
115	41	Current Owner	344 EUCALYPTUS AVE
115	42	Current Owner	344 EUCALYPTUS AVE
115	43	Current Owner	344 EUCALYPTUS AVE
115	44	Current Owner	344 EUCALYPTUS AVE
115	45	Current Owner	344 EUCALYPTUS AVE
115	46	Current Owner	344 EUCALYPTUS AVE
115	47	Current Owner	344 EUCALYPTUS AVE
115	48	Current Owner	344 EUCALYPTUS AVE
115	49	Current Owner	344 EUCALYPTUS AVE
115	50	Current Owner	344 EUCALYPTUS AVE



N 49°00'00" E 100.00'

CEDAR AVENUE
(50' R.O.W.)
N 41°00'00" W 100.00'



S 49°00'00" W 100.00'

SOUTH JACKSON AVENUE
(50' R.O.W.)

- LEGEND
- - MON. SET
 - - REBAR FOUND
 - - MON. FOUND

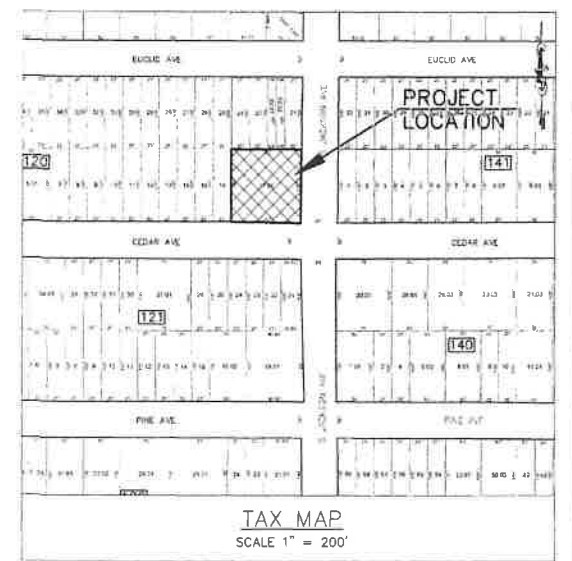
SUBDIVISION DATA

OWNER/APPLICANT: SHAWN & JEAN VUET
51 DALE DRIVE
CHATHAM N.J. 07928

PROPERTY IS KNOWN AS BLOCK 120, LOT 17.01 AS SHOWN ON SHEET 20 OF THE TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.
PROPERTY IS LOCATED IN THE R-2 RESIDENTIAL ZONE AND CONTAINS A TOTAL OF 0.2296 ACRES.
NUMBER OF EXISTING LOTS - 1
NUMBER OF PROPOSED LOTS - 2
PROPOSED USE - 2 RESIDENTIAL LOTS
PUBLIC WATER AND SEWER AVAILABLE IN S. JACKSON & CEDAR STREETS
SURVEY BY - MORGAN ENGINEERING & SURVEYING DATED 5/4/2023
SURVEY DATUM - VERTICAL DATUM NAVD83, HORIZONTAL DATUM ASSUMED.
VERTICAL BENCHMARK - N/A
OUTBOUND ERROR OF CLOSURE - GREATER THAN 1:10,000
LOT ERROR OF CLOSURE - GREATER THAN 1:10,000
CORNER COORDINATES ARE BASED ON ASSUMED DATUM.

DESCRIPTION	ZONE R-2		
	RESIDENTIAL	EXISTING LOT 17.01	PROPOSED LOT 17.02
BUILDING USE	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
LOT AREA	5,000 S.F.	10,000 S.F.	5,000 S.F.
MIN. LOT FRONTAGE	50 FT.	100.0 FT.	50.0 FT.
FRONT YARD SETBACK (CLD49)	20 FT.	25.0 FT.	20.0 FT.
SIDE YARD SETBACK (S JACKSON)	15 FT.	*12.8 FT.	*12.8 FT.
SIDE YARD SETBACK	5 FT.	54.88 FT.	**4.88 FT.
REAR YARD SETBACK	20 FT.	*6.51 FT.	*6.51 FT.
PRINCIPAL BUILDING COVERAGE	30 %	9.28 % (928 SF)	< 30.00 %
MAX. TOTAL IMPERVIOUS	45 %	13.63 % (1,362 SF)	< 45.00 %
MAX. BLDG. HEIGHT	33 FT.	< 33 FT.	< 33.0 FT.
MIN. STORAGE	80 S.F.	> 80 S.F.	> 80 S.F.
MIN. DECK	80 S.F. or 10% 1st. FLOOR	130 S.F.	< 80 S.F.

* - INDICATES EXISTING NON-COMFORMITY
** - INDICATES VARIANCE REQUIRED



THE UNDERSIGNED, SHAWN VUET, HEREBY DECLARES THAT HE IS THE OWNER OF LOT 17.01 IN BLOCK 120, DELINEATED HEREON AND HEREBY CONSENTS TO THE FILING OF THIS MAP.

Shawn Vuet
DATE: 9/18/23
ADDRESS: 39 S. Jackson Ave

BE IT REMEMBERED THAT ON THIS 18th DAY OF September 2023 BEFORE ME, A NOTARY PUBLIC OF NEW JERSEY, PERSONALLY APPEARED SHAWN VUET, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Shawn Vuet
Notary Public
State of New Jersey
ID # 5212430
My Commission Expires January 28, 2025

THIS IS TO CERTIFY THAT THE BOROUGH OF MANASQUAN ZONING BOARD IS THE PROPER AUTHORITY TO APPROVE AND HAS APPROVED THIS MAP, AND THAT THIS MAP COMPLES WITH ALL THE PROVISIONS OF R.S. 40:23-9.9 KNOWN AS THE 'RECORDATION ACT'. THIS MAP SHALL BE FILED IN THE COUNTY CLERK'S OFFICE ON OR BEFORE THE DATE OF THIS MAP, 2023, WHICH IS 190 DAYS FROM THE DATE THE RESOLUTION IS ADOPTED.

SECRETARY, MANASQUAN ZONING BOARD DATE

MAP FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE ON DATE

AS MAP No.

NEW LOT NUMBERS HAVE BEEN ASSIGNED.

TAX ASSESSOR, BOROUGH OF MANASQUAN DATE

APPROVED BY
BOROUGH OF MANASQUAN ZONING BOARD

CHAIRMAN DATE

SECRETARY DATE

ENGINEER DATE



BOROUGH ENGINEER DATE

DAVID J. VON STEENBURG N.J.P.L.S. No. 34500 DATE 9/15/23

CERTIFICATE OF AUTHORIZATION 24042322969

MORGAN
engineering & surveying

P.O. BOX 5232
TOMS RIVER, N.J. 08754
TEL: 732-270-8880
FAX: 732-270-9891
www.morganengineering.com

DAVID J. VON STEENBURG
PROFESSIONAL LAND SURVEYOR
N.J. LIC. No. 34500

MINOR SUBDIVISION

LOT 17.01 BLOCK 120
BOROUGH OF MANASQUAN

COUNTY OF MONMOUTH NEW JERSEY

Scale: 1"=20' Drawn By: JS Date: 5-4-23 Job #: 23-03427 CAD File #: 23-03427LS Sheet #: 1 of 1

B.O.M. RECEIVED
M&G _____ ADM _____
CLERK _____ CFO _____

NOV 27 2023

November 22, 2023

DPW _____ CONST _____
PD _____ OTHER _____

Barbara Ilaria, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

Re: Boro File No. MSPB-R2150
Site Plan – 227 East Main St LLC
Block 89, Lot 1
227 East Main Street
BR-1 - Business Retail Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Architectural Floor Plans and Elevations prepared by Brendan McHugh, RA, of Brendan T. McHugh Architecture, dated August 9, 2023.
2. Preliminary and Final Major Site Plan prepared by Joseph Kociuba, PE, PP, of KBA Engineering Services, dated October 9, 2023.
3. Pre & Post Development Stormwater Management Report, including drainage area maps, prepared by Joseph Kociuba, PE, PP, of KBA Engineering Services, dated October 9, 2023.
4. Outbound and Topographic Survey prepared by Alan Boettger, PLS, of Clearpoint Services, LLC, dated March 6, 2023.

The property is located in the BR-1 Business Retail Zone with frontage on East Main Street. With this application, the applicant proposes to demolish the existing structures and construct a new three story, 1,080 square foot, mixed use building and parking area in the rear of the property which will contain nine parking stalls. Stormwater management improvements, landscaping, site lighting, and other associated site improvements are also proposed. Access to the site will be from East Main Street in the approximate location of the existing gravel driveway. The application is deemed complete on November 22, 2023.

The following are our comments and recommendations regarding this application:

Zoning

1. The property is located in the BR-1 - Business Retail Zone. The proposed mixed use, retail on the first floor with apartments above, is permitted in the zone.

Re: Boro File No. MSPB-R2150
Site Plan – 227 East Main St LLC
Block 89, Lot 1

November 22, 2023
Sheet 2

2. The following bulk ('c') variances are required as part of this application:
 - a. A maximum lot coverage of 60% is permitted, whereas a lot coverage of 80.57% is proposed (50.71% exists).
 - b. A minimum front yard setback of 10 feet is required, whereas a setback of 3.29 feet is proposed to the balcony and 8 feet to the building.
 - c. A minimum parking stall size of 9' x 19' is required, whereas stalls of 9' x 18' are proposed.
 - d. A minimum two-way aisle width of 24 feet is required, whereas an aisle width of 8.67 feet at the building is proposed.
 - e. A total of ten parking stalls are required, whereas nine stalls are provided.
 - f. A parking area setback of 4 feet is required, whereas a setback of 1.18 feet is proposed to the southerly side property line, and 2.24 feet to the rear property line.
 - g. All parking area setbacks must be landscaped, whereas the northerly side parking lot setback is not landscaped.
3. The location of any freestanding and building mounted signage should be shown on the plan. Dimensions and setbacks for the signs should be provided.
4. The plans indicate that the building height will be less than the permitted 40 feet for the zone. The actual height, measured from the top of curb, should be provided.
5. The applicant should be prepared to discuss the hours of operation of the commercial operation, and proposed hours of site and signage lighting.
6. The submitted survey indicates an area of conveyance and potentially questionable title at the right-of-way of Main Street. This must be resolved as any additional right-of-way conveyance will potentially affect the lot area, setbacks, and coverages.

Drainage

7. There will be an increase in impervious coverage on the site from the new building and paved parking area. The project does not qualify as a major development per the NJDEP stormwater regulations so not all of the major development quantity reductions are required. The applicant proposes an underground recharge system consisting of a perforated pipe encased in stone and two inlets to address the increase in coverage. The building roof drains will also be directly connected to the system. It appears that with the proposed system there will still be an increase in runoff from the site for all design storms. The system should be modified so that there will be no increase in the peak runoff rates from the site.

Re: Boro File No. MSPB-R2150
Site Plan – 227 East Main St LLC
Block 89, Lot 1

November 22, 2023
Sheet 3

8. It appears that proposed drainage area PDA-1p will not reach the recharge system with the proposed grading. The proposed pavers in this area are also considered pervious lawn area. The paver area should be considered impervious coverage for the drainage calculations. Also, this area should either be regraded to drain to the recharge system or be excluded from the recharge system routing.
9. Proposed Inlet-1 is located partially within the public right-of-way of Main Street. The inlet should be relocated entirely on the applicant's property. This inlet will also serve as a "bubbler" overflow for the system during larger storms and will direct flow across the public sidewalk to Main Street. The applicant's engineer should be prepared to discuss this overflow which could create a safety issue in the public sidewalk.
10. Proposed Inlet-2 does not appear to show the entire inlet structure and thus the rear wall will be located less than a foot from the rear property line. A construction easement on the adjacent property may be necessary for the excavation of the system in this area. The entire inlet box should also be shown on the plans.
11. It appears that the proposed landscape wall will trap surface runoff on adjacent Lot 52 near the rear of the proposed building. The grading should be revised or the wall modified so as to not negatively impact adjacent properties.
12. The proposed westerly footings for the building appear to be located on or directly adjacent to the proposed recharge system. The impact of the system location on the footings should be explained and the plans revised as necessary.
13. A construction detail should be provided for the roof drain pipe connections to the recharge system.

Traffic

14. The proposed site layout only allows for a single lane of traffic to enter or exit the site from Main Street and along the proposed building. This aisle width requires a variance as previously indicated but also creates a traffic conflict and potential issue for traffic backing up on Main Street while waiting for a car to exit the site.
15. The site also has two parking spaces at the rear of the site which appear will have a difficult time turning around in the parking aisle to exit the site. The applicant's engineer should be prepared to discuss how these stalls will function with a full parking lot.
16. A loading area is not proposed in the parking area. The nature of anticipated deliveries should be explained and how any delivery vehicles or trash collection vehicles will navigate the site. The height of the porte cochere and its impact on delivery vehicles should also be explained.
17. A sight triangle should be provided at the entrance drive. Any signage or landscaping should also be shown and must be located outside of the sight triangle area.
18. A stop sign and stop bar should be provided for the entrance drive at Main Street.
19. A detail for the paver parking area and aisle must be provided.

Re: Boro File No. MSPB-R2150
Site Plan – 227 East Main St LLC
Block 89, Lot 1

November 22, 2023
Sheet 4

Landscaping/Lighting


20. Landscaping is required for all parking areas and should be provided along the easterly lot line adjacent to Lot 52.
21. I suggest additional landscaping be provided for the frontage of the site.
22. All existing mature trees should be located on the survey and any trees to be removed must be indicated on the site plan.
23. The proposed parking lot lighting levels meet the minimum ordinance levels, however there is spillage onto adjacent properties. The lights should be adjusted to prevent spillage and all lighting luminaires should be shielded from view of adjacent properties.

Miscellaneous

24. The proposed dumpster area material is not labeled but appears to be of a pervious material. This area should be stabilized with asphalt or concrete. It also appears that a stabilized access is warranted from the parking lot to the rear shed and from the front door to the Main Street sidewalk. These areas should be indicated on the plans and any increase in impervious coverage included in the zoning table and drainage calculations.
25. The proposed limits of pavement repair in Main Street for utility connections and curb replacement should be shown on the plan. The extent of the excavation may require a half-width or full-width repaving of a portion of Main Street.
26. A detail for the public sidewalk repair should be provided. This should include a maximum cross slope of 1.5%.
27. All building mechanicals are proposed to be located on the flat roof.
28. Any new utilities must be located underground if possible.
29. All necessary outside agency approvals must be obtained for this project. These may include, but not be limited to the following:
 - a. Monmouth County Planning Board
 - b. Freehold Soil Conservation District

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,


ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN



Re: Boro File No. MSPB-R2150
Site Plan – 227 East Main St LLC
Block 89, Lot 1

November 22, 2023
Sheet 5

ADY:jy

cc: George McGill, esq., Planning Board Attorney
C. Keith Henderson
52 Abe Vorhees Drive, PO Box 260, Manasquan, NJ 08736
Joseph Kociuba, PE, PP
KBA Engineering Services, 2517 Route 35, Bldg E, Suite 203, Manasquan, NJ 08736
Michael Rose
227 East Main Street, Manasquan, NJ 08736

BOROUGH HALL
201 EAST MAIN STREET

EDWARD G. DONOVAN
Mayor

THOMAS F. FLARITY
Municipal Administrator

Incorporated December 30, 1887

CONSTRUCTION DEPARTMENT

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

732-223-0544
Fax 732-223-1300

FRANK F. DIROMA
Supervisor of Code Enforcement

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

*Applicant's Name: 227 East Main Street, LLC

*Applicant's Address: 216 The Terrace, Sea Girt, NJ 08750

*Telephone Number: Home: 732-223-0800 C.K. Henderson Cell: Applicant: 732-245-0426

*e-mail Address: keith@hendersonlawfirmnj.com; christine@hendersonlawfirmnj.com; michaelrose18@gmail.com

*Property Location: 227 East Main Street

*Block: 89 Lot: 1

*Type of Application: Bulk Variances

Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-Site Plan Approval

*Date of Zoning Officer's Denial Letter: July 19, 2023

Attach Zoning Permit Application

*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

*Is the Applicant the Landowner? Yes

*Does the Applicant own any adjoining land? No

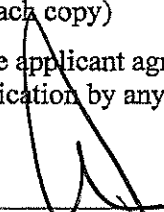
*Are the property taxes paid to date? Yes

*Have there been any previous applications to the Planning Board concerning this property? No
(Attach copy)

**Are there any Deed Restrictions, Easements, or Covenants affecting this property? No

(Attach copy)

*The applicant agrees to be responsible for and pay for the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.



Signature of Applicant or Agent

October 26, 2023

Date

10/2023

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

July 19, 2023

Keith Henderson, Esq.
52 Abe Voorhees Drive
PO Box 260
Manasquan, NJ 08736

Re: Block: 89 Lot: 1 Zone: BR-1
227 East Main Street

Dear Sir:

On this date we reviewed your application for the following project.

Remove all of the structures on the property and construct a new three story mixed use building (Retail & 3 residential units) and a storage shed in the rear yard.

Application denied for the following reason(s):

Section 35-18.3 – Requires Planning Board approval for the proposed project.

Section 35-9.4 - Front Setback – 10ft. Required
3.37ft. Proposed

“ - Lot Coverage – 60% Permitted
77.9% Proposed

Section 35-13.2b – Parking Stalls – 9’ x 19’ Required
9’ x 18’ Proposed

“ - Aisle Width – 24ft. Required
8.17ft. Proposed

Section 35-13.4 – Parking Spaces – Retail (1,080s.f) = 4 Spaces
- Residential (3 Units) = 6 Spaces
10 Spaces Required
9 Spaces Proposed

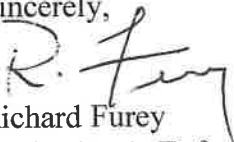
Section 35-13.2c – Parking Area Setback – 4ft. Required from side and rear property lines.
3ft. Proposed

Additional required documentation:

1. Section 35-13.2c – Requires that the parking area setback areas must be landscaped.
2. Plot plan revised to show location of any mechanical equipment.
3. Maximum building height for the proposed shed is 10ft.
4. Prior approval from the shade tree committee regarding the removal of any trees on the property.
5. Plot plan revised to comply with Section 28-1.3.
6. Plans must show compliance with Section 35-7.9.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey
Zoning/Code Enforcement Officer

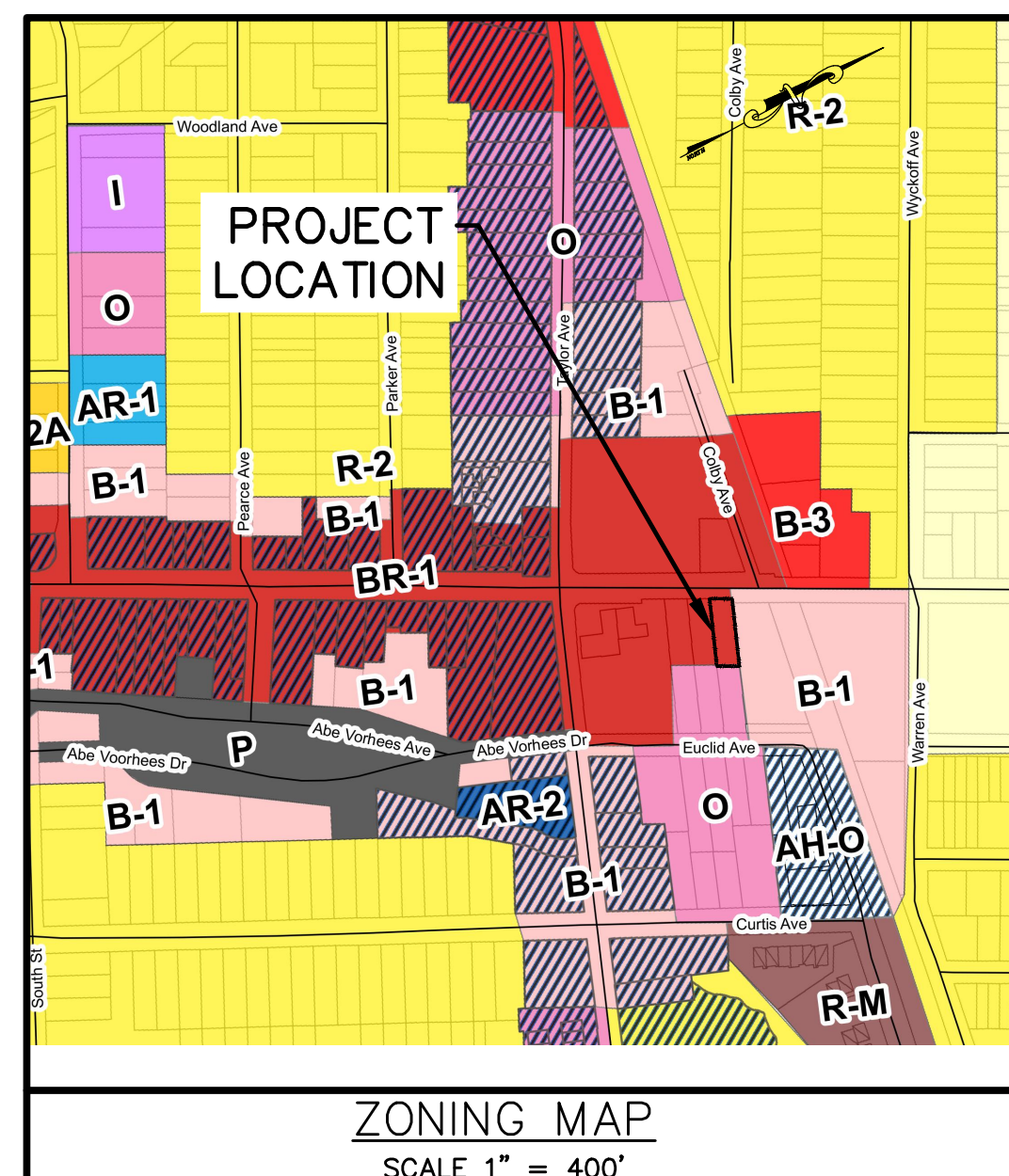
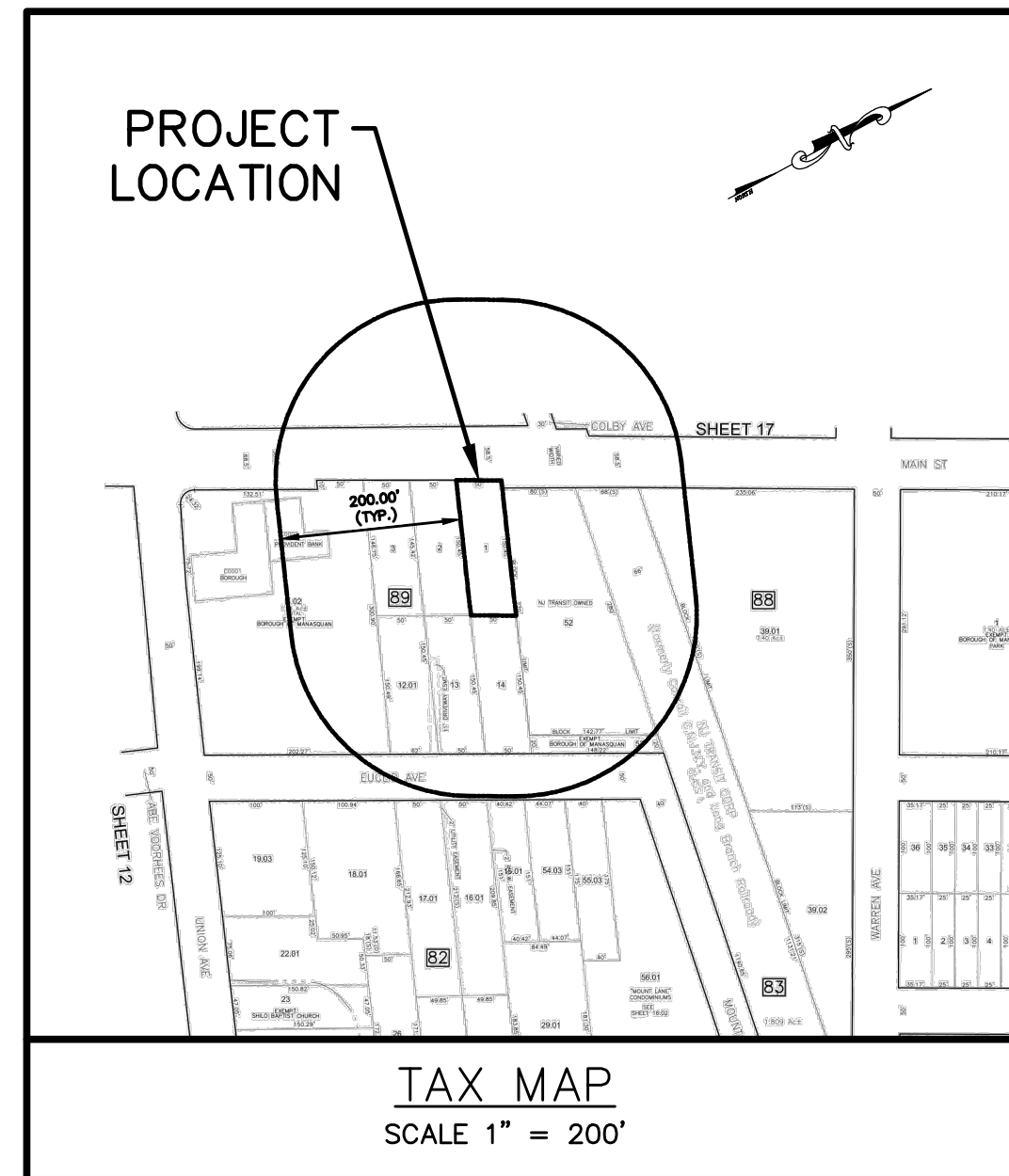
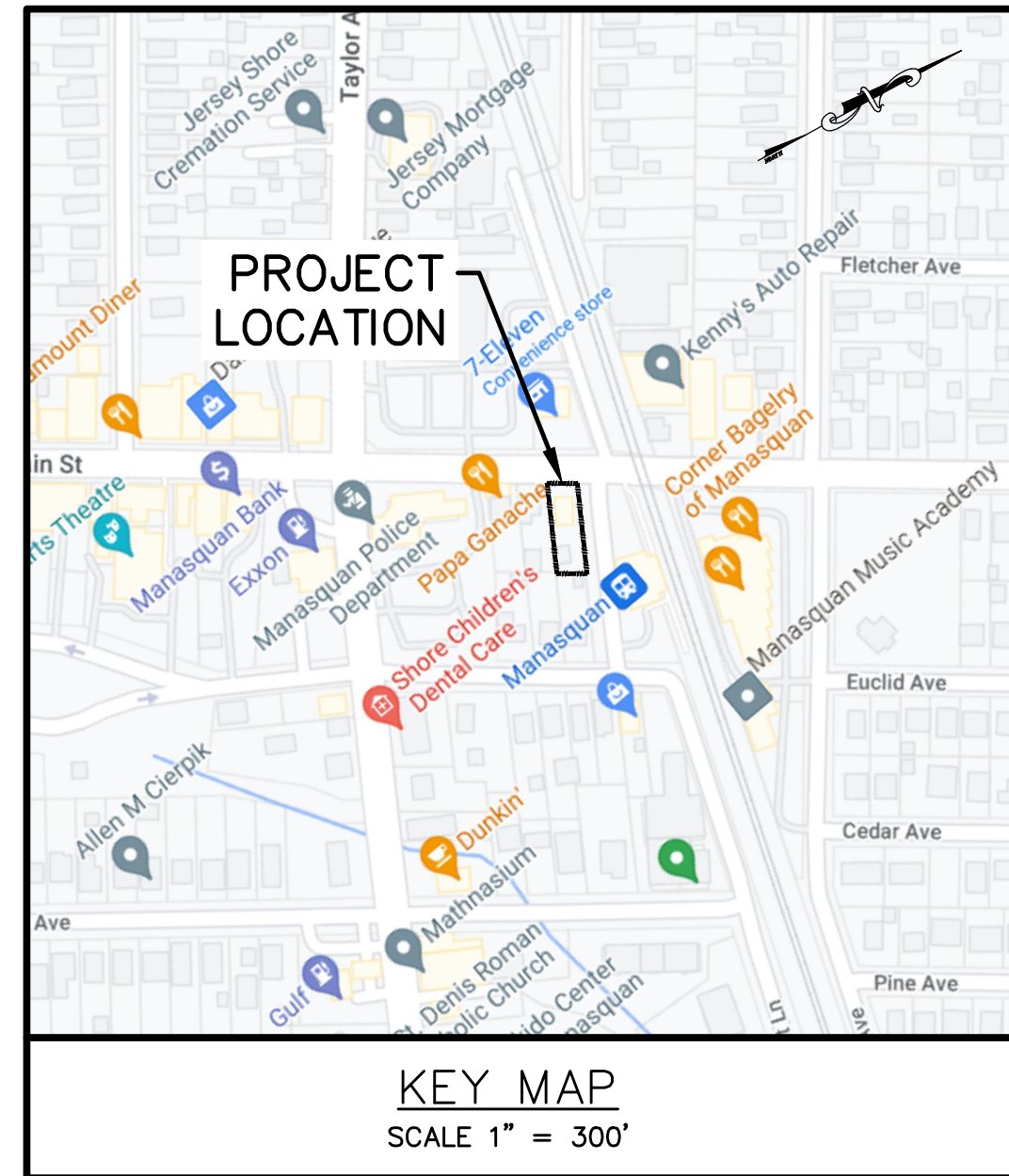
PRELIMINARY & FINAL MAJOR SITE PLAN

BLOCK 89- LOT 1

BOROUGH OF MANASQUAN

MONMOUTH COUNTY, NEW JERSEY

PROPERTY OWNERS WITHIN 200 FT.



GENERAL NOTES:

1. THE PROPERTY IS KNOWN AS LOT 1 IN BLOCK 89 AS SHOWN ON SHEET 16 OF THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, N.J WITH A TOTAL TRACT AREA OF 0.17 ACRES (7,225.21 S.F.).
2. THE PROPERTY IS LOCATED IN THE "BR-1 BUSINESS RETAIL ZONE".
3. THE VERTICAL DATUM IS NAVD88. THE HORIZONTAL DATUM IS NAD83.
4. OWNER/APPLICANT: MICHAEL AND CARA ROSE
227 EAST MAIN STREET
MANASQUAN, NJ 08736
5. APPLICANT PROPOSES TO: CONSTRUCT A 3-STORY MIXED USE BUILDING W/ A BASEMENT W/ RETAIL ON THE FIRST FLOOR AND RESIDENTIAL USE ON THE SECOND AND THIRD FLOORS AND BASEMENT W/ ASSOCIATED PARKING.
6. NO FRESHWATER WETLANDS EXIST ON THE SITE.
7. PROPOSED WATER SERVICES TO BE CONNECTED TO MAIN IN MAIN STREET. EXACT LOCATIONS TO BE FIELD VERIFIED BY CONTRACTOR FOR CONFLICTS.
8. PROPOSED SEWER SERVICES TO BE CONNECTED TO MAIN IN MAIN STREET. EXACT LOCATIONS TO BE FIELD VERIFIED BY CONTRACTOR FOR CONFLICTS.
9. GAS, ELECTRIC, LIGHTING, CABLE AND TELEPHONE SERVICES, TO BE COORDINATED BY CONTRACTOR.
10. THE PROJECT PROPOSES LESS THAN 1/4 ACRE OF ADDITIONAL IMPERVIOUS COVERAGE AND PROPOSES DISTURBANCE OF LESS THAN 1 ACRE. THEREFORE THE STORMWATER MANAGEMENT REQUIREMENTS FOUND WITHIN THE TOWNSHIP ORDINANCE AND NJAC 7:8 DO NOT APPLY.
11. REFUSE PICKUP SHALL BE PROVIDED BY MANASQUAN BOROUGH DPW.
12. ALL PROPOSED CURBS SHALL BE DEPRESSED WHERE SIDEWALKS AND CROSSWALKS INTERSECT SAME AND HANDICAP RAMPS INSTALLED, EXCEPT WHERE INDICATED.
13. ALL TRAFFIC SIGNAGE AND STRIPING SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
14. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERE TO.
15. THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON IS NOT A SURVEY.
16. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL SIGNED AND SEALED BY THE ENGINEER AND STAMPED "ISSUED FOR CONSTRUCTION" AND UNTIL SUCH TIME AS ALL APPROVALS REQUIRED HAVE BEEN OBTAINED AND ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED. THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
17. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING REQUIRED TO AVOID CONFLICTS.
18. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
19. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED. ALL APPLICABLE OSHA SAFETY STANDARDS SHALL BE ADHERED TO. ANY TEMPORARY TRAFFIC CONTROL AND/OR SAFETY DEVICES SHOWN HEREON ARE REQUIRED AS A MINIMUM AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND PROVISION OF ADDITIONAL SAFETY DEVICES AS MAY BE DETERMINED NECESSARY. K.B.A. ENGINEERING SERVICES TAKES NO RESPONSIBILITY FOR SITE OR TRAFFIC SAFETY.
20. THESE GENERAL NOTES APPLY TO ALL SHEETS IN THIS PLAN SET.

UTILITIES TO BE NOTIFIED

APPROVED BY BOROUGH OF
MANASQUAN PLANNING BOARD

CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE

INDEX OF SHEETS				
ISSUED	REVISED	SUMMARY	SHEET NO.	TITLE
10/9/2023		INITIAL SUBMISSION	1 OF 7	TITLE SHEET
10/9/2023		INITIAL SUBMISSION	2 OF 7	EXISTING CONDITIONS
10/9/2023		INITIAL SUBMISSION	3 OF 7	LAYOUT PLAN
10/9/2023		INITIAL SUBMISSION	4 OF 7	GRADING, DRAINAGE, & UTILITY PLAN
10/9/2023		INITIAL SUBMISSION	5 OF 7	LIGHTING & LANDSCAPING PLAN
10/9/2023		INITIAL SUBMISSION	6 OF 7	LIGHTING & LANDSCAPING DETAILS
10/9/2023		INITIAL SUBMISSION	7 OF 7	CONSTRUCTION DETAILS
10/9/2023		INITIAL SUBMISSION	1 OF 2	SOIL EROSION & SEDIMENT CONTROL PLAN
10/9/2023		INITIAL SUBMISSION	2 OF 2	SOIL EROSION & SEDIMENT CONTROL NOTES

I CERTIFY THAT I AM THE OWNER OF THE SUBJECT PROPERTY AND AUTHORIZE THIS SITE PLAN APPLICATION TO BE SUBMITTED FOR REVIEW BY THE BOROUGH LAND USE BOARD

MICHAEL & CARA ROSE

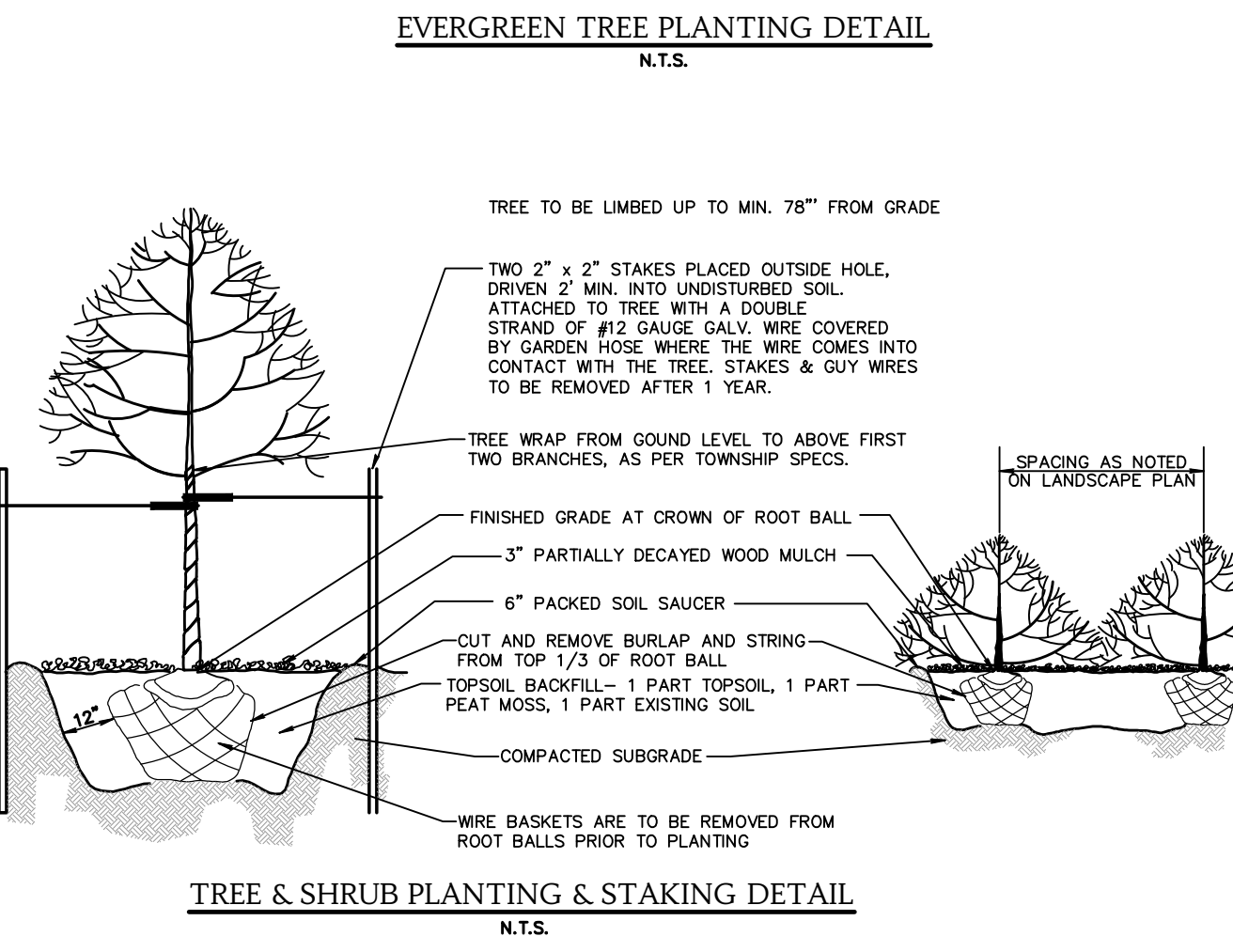
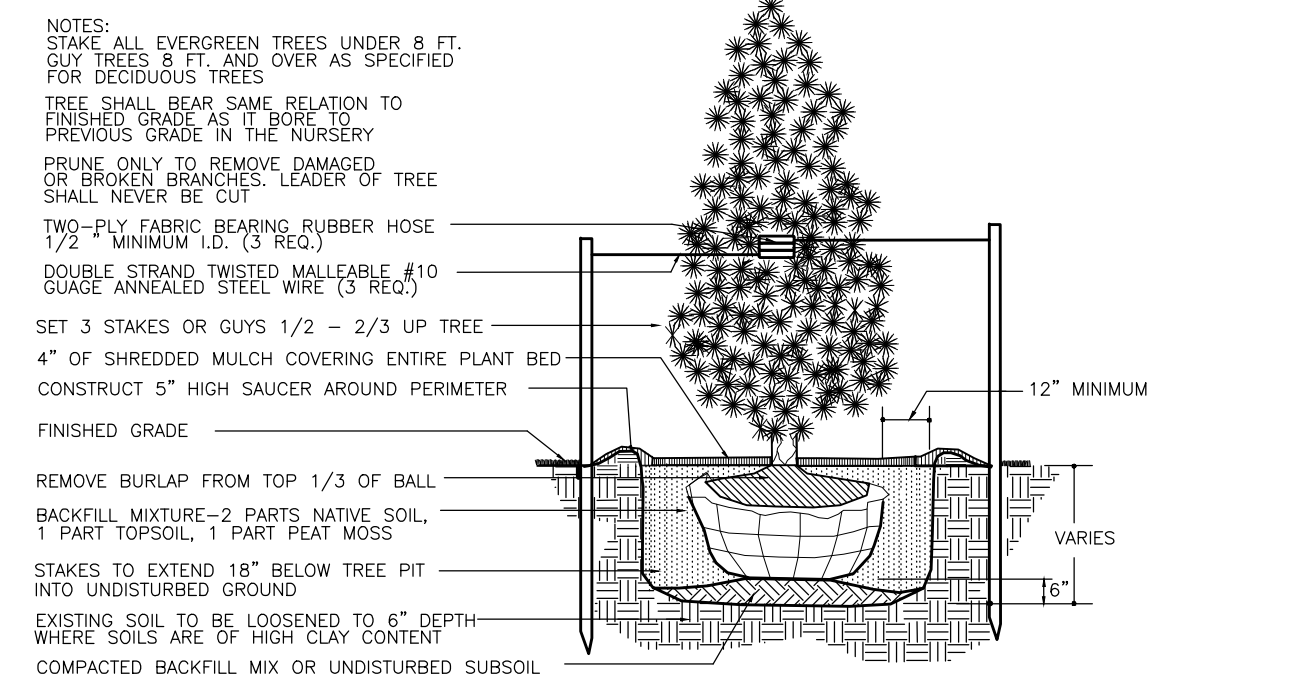
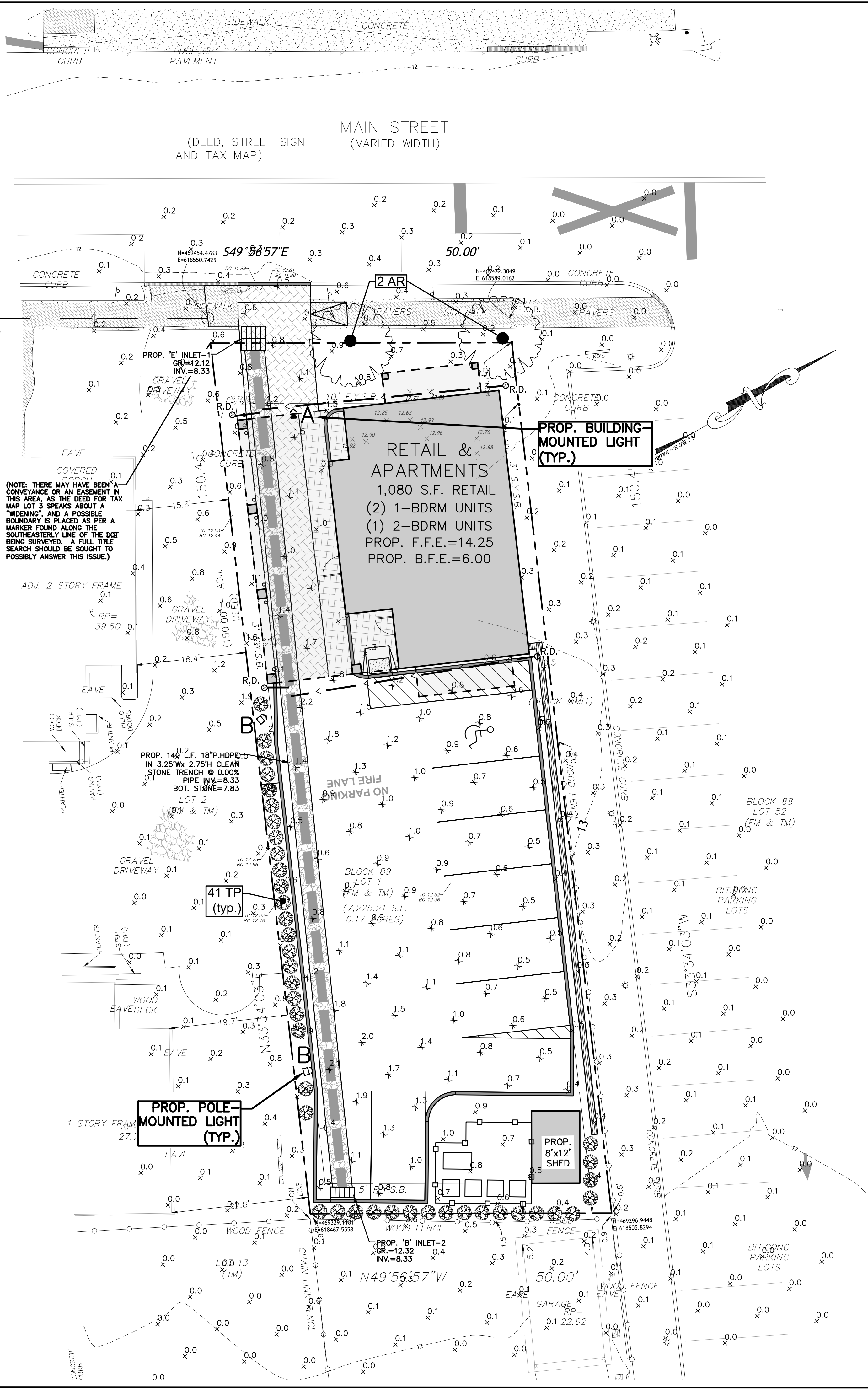
REV. NO.	DATE	DESCRIPTION
TITLE SHEET		
PRELIMINARY AND FINAL MAJOR SITE PLAN		
227 EAST MAIN STREET		
BLOCK 89 - LOT 1		
FOR MICHAEL & CARA ROSE		
BOROUGH OF MANASQUAN		
MONMOUTH COUNTY, NEW JERSEY		
		2517 Route 35, Bldg E, Ste 203 Manasquan, NJ 08736 P: (732)722.8555 F: (732)722.8557 kbaengineers.com Plans@kbaengineers.com Certificate of Authority No.: 24GA28220500
		DRN LU PROJECT NO. 2023-024 SCALE AS SHOWN DATE 10/9/2023 SHEET 1 OF 7
JOSEPH J. KOCIUBA, P.E., P.P. P.E. License No.: GE45850		

PLANTING DETAILS

1. THE CONTRACTOR SHALL REVIEW THE ARCHITECTURAL/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH THE LAYOUT, GRADING AND LOCATION OF SURFACE & SUBSURFACE UTILITIES AND STRUCTURES.
2. ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW. SEE SEASONAL PLANT LIST FOR PLANTING TIMES OF BULBS AND SEASONAL PLANTS.
3. THE CONTRACTOR SHALL COORDINATE WITH LIGHTING AND IRRIGATION CONTRACTORS REGARDING TIMING OF INSTALLATION OF PLANT MATERIAL.
4. THE CONTRACTOR SHALL INSURE THAT HIS WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.
5. DURING PLANTING OPERATIONS, EXCESS WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY REMOVED FROM THE SITE.
6. THE CONTRACTOR SHALL CALL N.J. UNDERGROUND UTILITY LOCATION SERVICE A MINIMUM OF THREE DAYS PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE. THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT THEY ARE UNCOVERED, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER. ANY DAMAGE TO UNREPORTED LINES SHALL NOT BE THE RESPONSIBILITY OF THE LANDSCAPE ARCHITECT OR ENGINEER.
7. IF UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER.
8. MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, THE ENGINEER OR OWNER.
9. EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.
10. IN THE EVENT OF VARIATIONS BETWEEN WRITTEN QUANTITIES SHOWN ON THE PLAN AND THE PLANT LIST, THE PLANS SHALL CONTROL. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SOO AND SEED QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT OR ENGINEER FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN PLANT LIST.
11. PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DESIGNATED IN THE FIELD. THE CONTRACTOR SHALL STAKE ALL MATERIAL LOCATED ON THE SITE FOR REVIEW AND/OR ADJUSTMENT BY THE LANDSCAPE ARCHITECT OR ENGINEER PRIOR TO PLANTING. ALL LOCATIONS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT OR ENGINEER BEFORE EXCAVATION.
12. PLANTS SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN ASSOCIATION OF NURSERYMEN (AAN), PARTICULARLY WITH REGARD TO SIZE, GROWTH, SIZE OF BALL, AND DENSITY OF BRANCH STRUCTURE. PLANT MATERIAL SHALL BE TAGGED AT THE SOURCE BY THE LANDSCAPE ARCHITECT OR ENGINEER UNLESS THIS REQUIREMENT IS SPECIFICALLY WAIVED.
13. ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY NAME, SPECIES, AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT, ENGINEER OR AGENT IN CHARGE.
14. ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
15. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM THE TOWNSHIP ENGINEER.
16. THE LANDSCAPE ARCHITECT, ENGINEER OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO REJECT ANY AND ALL WORK AND MATERIAL WHICH, IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS.
17. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF ALL TREES SHALL BE DONE UTILIZING A METHOD AS INDICATED ON THE DOCUMENTS OR AGREED UPON BY THE LANDSCAPE ARCHITECT OR ENGINEER.
18. ALL PROPOSED TREES ARE TO BE INSTALLED EITHER ENTIRELY WITHIN PLANTING BEDS. PLANTING BED LINES ARE NOT TO BE OBSTRUCTED. ALL SHRUBS AND GRASSING ARE TO BE PLANTED IN CONTINUOUS PREPARED BEDS AND TOP DRESSED WITH A 3-INCH THICK APPLICATION OF SHREDDED HARDWOOD MULCH. MULCH SHALL HAVE BEEN SHREDDED WITHIN THE LAST SIX MONTHS.
19. ALL PLANTING BEDS ADJACENT TO LAWN, SOO, OR SEEDS AREAS SHALL BE SPADE EDGED.
20. MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL 90 DAYS AFTER FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT, ENGINEER OR OWNER'S REPRESENTATIVE. MAINTENANCE INCLUDES WATERING, PRUNING, WEEDING, FERTILIZING, MULCHING, REPLACEMENT OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER.
21. UPON COMPLETION OF ALL LANDSCAPING, INSPECTION FOR ACCEPTANCE OF THE WORK SHALL BE PERFORMED. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, ENGINEER OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
22. PLANTER SOILS (IF AND WHERE REQUIRED) SHALL BE WELL-DRAINING AND FERTILE. SOILS SHALL BE SANDY-LOAM, FRAMBLE MIX, FREE FROM DEBRIS, ROCKS, ETC.. SOIL TO BE 20% SAND AND 20% PEAT MIXED WITH 50% SELECTED WELL-DRAINED SOILS FROM THE SITE. BACKFILL SOILS SHALL BE AS NOTED ON THE PLANTING DETAILS.
23. ALL DISTRIBUTED AREAS OF THE SITE NOT PLANTED WITH SHRUBS OR GRASS COVER SHALL BE FINE GRADED AND SEEDS OR SODDED.
24. ALL PLANTING PROCEDURES SHALL CONFORM TO MUNICIPAL SPECIFICATIONS.
25. THIS PLAN IS TO BE USED FOR LANDSCAPING AND LIGHTING PURPOSES ONLY. THE CONTRACTOR SHALL EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR EXACT LOCATIONS OF UTILITIES, DRAINS ETC., AND NOTIFY THE OWNER ABOUT ANY DISCREPANCIES BEFORE STARTING WORK.
26. ALL PLANT MATERIALS USED SHALL BE TRUE TO NAME AND SIZE IN CONFORMITY WITH THE AMERICAN STANDARD OF NURSERY STOCK (LATEST VERSION) AND SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY.
27. ALL PLANTS SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES & VIGOROUS ROOT SYSTEMS. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM DEFECTS, DISTURBANCES OF BARK, SUNLIT INJURIES, PLANT DISEASES, INSECT PESTS, BORERS AND ALL OTHER FORMS OF INFECTION. ALL PLANTS SHALL BE NURSERY GROWN. ALL PLANTS SHALL BE GRADE "A" NURSERY STOCK.
28. EXCAVATION NEAR EXISTING UTILITIES TO BE CAREFULLY PERFORMED BY HAND. ALL TREES SHALL BE LOCATED A MINIMUM OF 10' FROM ANY EXISTING OR PROPOSED UNDERGROUND UTILITIES.
29. ALL PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO THE FINISHED GRADE AS IT HAD TO EXISTING GRADE AT THE NURSERY.
30. FIELD ADJUST ALL PROPOSED PLANTING LOCATIONS TO AVOID ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, FACILITIES, AND VEGETATION.
31. ALL PLANTING MATERIAL IS TO BE GUARANTEED FOR A PERIOD OF 24 MONTHS FROM THE FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE OF THE PROJECT, THE LANDSCAPE ARCHITECT SHALL REPLACE THEM AT HIS EXPENSE.
32. PRUNE NEWLY PLANTED TREES AS IF, AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
33. EVERGREEN TREES SHALL ONLY BE SHEARED IF, AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
34. PLANTS SHALL ONLY BE INSTALLED WHEN THE SOIL IS FROST FREE.
35. UNDER NO CIRCUMSTANCES SHALL THE MAIN LEADER OF A DEODIOUS OR EVERGREEN TREE BE TOPPED. ALL PLANT MATERIAL PROVIDED IN THIS CONDITION SHALL BE REJECTED.
36. ALL DISTURBED AREAS TO BE TOPSOILED 4" THICK, FERTILIZED, SEEDS AND MULCHED. RELATIVELY LEVEL AREAS SHALL BE MULCHED WITH SMALL GRASS STRAW. STEEPLY SLOPED AREAS SHALL BE TREATED AS SPECIFICALLY NOTED.
37. TOPSOIL SHALL BE NATURAL, FRAMBLE, FERTILE SOIL CHARACTERISTIC OF PRODUCTIVE SOIL IN THE VICINITY. IT SHALL BE FREE OF LUMPS OF CLAY, STONES, ROOTS AND OTHER FOREIGN MATTER.
38. SHADE TREES LOCATED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BRANCH BELOW 7' ABOVE FINISHED GRADE.
39. ALL SHRUB MASSES SHALL FORM CONTINUOUS PLANTING BEDS AND SHALL BE MULCHED. FREESTANDING TREES SHALL BE BEDDED WITH A MULCH SAUCER, PER THE DETAILS.
40. CUT AND REMOVE BURLAP FROM TOP ONE-THIRD OF BALL ONLY IF NON-JUTE ROPING IS USED.
41. THE DEPTH OF PLANTING PITS SHALL BE INCREASED BY 12" THROUGH THE ADDITION OF LOOSE AGGREGATE (3/4" TO 1-1/2" DIAMETER) WHEREVER POOR DRAINAGE OCCURS OR WHERE DIRECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER.
42. IF, AND WHERE STAKING IS REQUIRED, GUY WIRES SHALL BE LOCATED SO THAT THEY WILL PUT UNDUE STRAIN ON BRANCH CROTCHES, WHERE USED. GUY TREES WITH WIRES TO THEIR SECOND BRANCH (MINIMUM ONE-THIRD HEIGHT OF TREE). USE TWO GUYS PER TREE UNLESS OTHERWISE INDICATED. TREE STAKES AND GUY WIRES SHALL BE REMOVED AFTER ONE GROWING SEASON.
43. PLANTS PLANTED IN ROWS SHALL BE MATCHED SPECIMENS AND BE REASONABLY UNIFORM IN SIZE AND FORM.
44. MULCH, 3" IN DEPTH, SHALL BE DOUBLE-SHREDDED HARDWOOD MATERIAL NOT EXCEEDING 1 1/2" IN ITS GREATEST DIMENSION.
45. A PRE-EMERGENT WEED KILLER SHALL BE APPLIED TO ALL PLANTING BEDS AND MULCH SAUCERS FOR FREESTANDING TREES, IMMEDIATELY PRIOR TO THE APPLICATION OF MULCH.
46. ALL PLANTS WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30' ABOVE ELEVATION OF CURB.
47. THE CONTRACTOR SHALL FERTILIZE ALL PLANT MATERIAL WITH 5-10-5 FERTILIZER, OR APPROVED EQUAL AT THE RATE SPECIFIED BY THE MANUFACTURER. ALL TURF AREAS SHALL BE LIMED AND FERTILIZED APPROPRIATELY FOR THE TYPES OF SOILS ON THE SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE THE SOIL ACIDITY AND A SOIL TEST CONDUCTED BY THE COUNTY SOIL DISTRICT OR EXTENSION SERVICE TO ESTABLISH THE SOIL'S LIME AND FERTILIZER RATES.
48. ONLY IF, AND WHERE REQUIRED BY THE MUNICIPALITY, TREES OVER SIX FEET IN HEIGHT MAY BE STAKED AT TIME OF INSTALLATION.
49. ALL WATER APPLIED TO PLANTED OR TURF AREAS SHALL BE FREE FROM IMPURITIES HARMFUL TO VEGETATION AND APPLIED AT A RATE OF 5 GALLONS OF WATER PER SQUARE YARD OF PLANT BED IMMEDIATELY AFTER PLANTING AND INSTALLATION. THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE ADEQUATE IRRIGATION TO ALL PLANT MATERIALS AND LAWN AREAS INSTALLED AS PART OF THIS CONTRACT DURING THE CONSTRUCTION TIME PERIOD UP TO AND INCLUDING THE TIME PERIOD ESTABLISHED FOR PLANT MATERIAL SURVIVAL GUARANTEE. WATER APPLIED DURING THE GUARANTEE PERIOD SHALL BE AT THE RATE OF 1/2" OF WATER PER WEEK WITH AN ALLOWANCE FOR NATURAL PRECIPITATION AND RAINFALL.
50. BACKFILL MATERIAL FOR RAISED PLANT BEDS SHALL BE NATURAL LOAM TOPSOIL, FREE FROM SUBSOIL, AND SHALL BE OBTAINED FROM AN AREA WHICH HAS NEVER BEEN STRIPPED. TOPSOIL SHALL HAVE BEEN REMOVED FROM A DEPTH OF NO MORE THAN 1 FOOT, OR LESS IF SUBSOIL IS ENCOUNTERED. TOPSOIL SHALL BE OF UNIFORM QUALITY, FREE FROM HARD CLODS, STIFF CLAY HARD PAN, SODS, PARTIALLY DISINTEGRATED STONE, LIME CEMENT, TAR RESIDUES, CHIPS OR ANY OTHER UNSUITABLE MATERIAL.
51. ALL PLANTS ARE SHOWN SEMI-MATURE SIZE ON PLANS. SIZES INDICATED IN PLANT LIST ARE SIZES AT TIME OF INSTALLATION.
52. PLANT MATERIAL SHOWN IN A MASS OR TOUCHING EACH OTHER SHALL BE ALLOWED TO GROW TOGETHER TO PERFORM AS A SCREEN OR A HEDGE. DO NOT PRUNE OR SHEAR INTO INDIVIDUAL FREESTANDING PLANTS.

LIGHTING NOTES

1. LIGHTING SHALL BE SHIELDED AND DIRECTED DOWN ONTO THE SITE SO AS NOT TO SHINE OR GLARE ONTO ADJACENT PROPERTY OR STREETS. LIGHTING SHALL NOT SHINE DIRECTLY OR REFLECT INTO WINDOWS OR SHINE ONTO STREETS AND DRIVEWAYS TO INTERFERE WITH DRIVER VISION.
2. LIGHTS THAT HAVE A YELLOW, RED, GREEN, OR BLUE BEAM AND/OR THAT ROTATE, PULSATE, OR OPERATE INTERMITTENTLY ARE PROHIBITED.
3. THE MAXIMUM HEIGHT OF LIGHTS SHALL BE 15 FEET MEASURED FROM THE SURROUNDING GRADE.
4. MERCURY VAPOR AND HIGH-PRESSURE SODIUM LIGHTING ARE NOT PERMITTED.
5. THE MAXIMUM COLOR TEMPERATURE OF ALL LIGHT FIXTURES SHALL BE 3,000K.



DECIDUOUS TREES					
SYMBOL	KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENT
AR	2	2	ACE RUBRUM 'BOWHALL'	'BOWHALL' RED MAPLE	2-2.5' CAL., B&B

EVERGREEN TREES					
SYMBOL	KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENT
TP	41	41	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6' O.C.

LANDSCAPING SCHEDULE

Symbol	Label	QTY	Manufacturer	Catalog	Description	Lumens per Lamp	Wattage	LLF	Mounting Height
▲	A	1	Lithonia Lighting	DSXW LED 100 350 30K TFM MVOLT HS	DSXW LED WITH (1) 10 LED LIGHT ENGINES, TYPE TFM OPTIC, 3000K, @ 350mA	ABSOLUTE	13.3	1	12 FT.
□	B	2	Lithonia Lighting	DSXO LED P1 30K 700R TFM HS	D-Series Size 0 Area Luminaire P1 Performance Package 5000K CCT 70 CRI Forward Throw House-side Shield	ABSOLUTE	33.2	1	15 FT.

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING LOT	X	1.3 fc	2.2 fc	0.5 fc	4.4:1	2.6:1
ENTIRE SITE	+	0.5 fc	2.5 fc	0.0 fc	N/A	N/A

LIGHTING SCHEDULE & STATISTICS

REV. NO.	DATE	DESCRIPTION

LIGHTING & LANDSCAPING PLAN
PRELIMINARY AND FINAL MAJOR SITE PLAN
 227 EAST MAIN STREET
BLOCK 89 - LOT 1
 FOR MICHAEL & CARA ROSE
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY

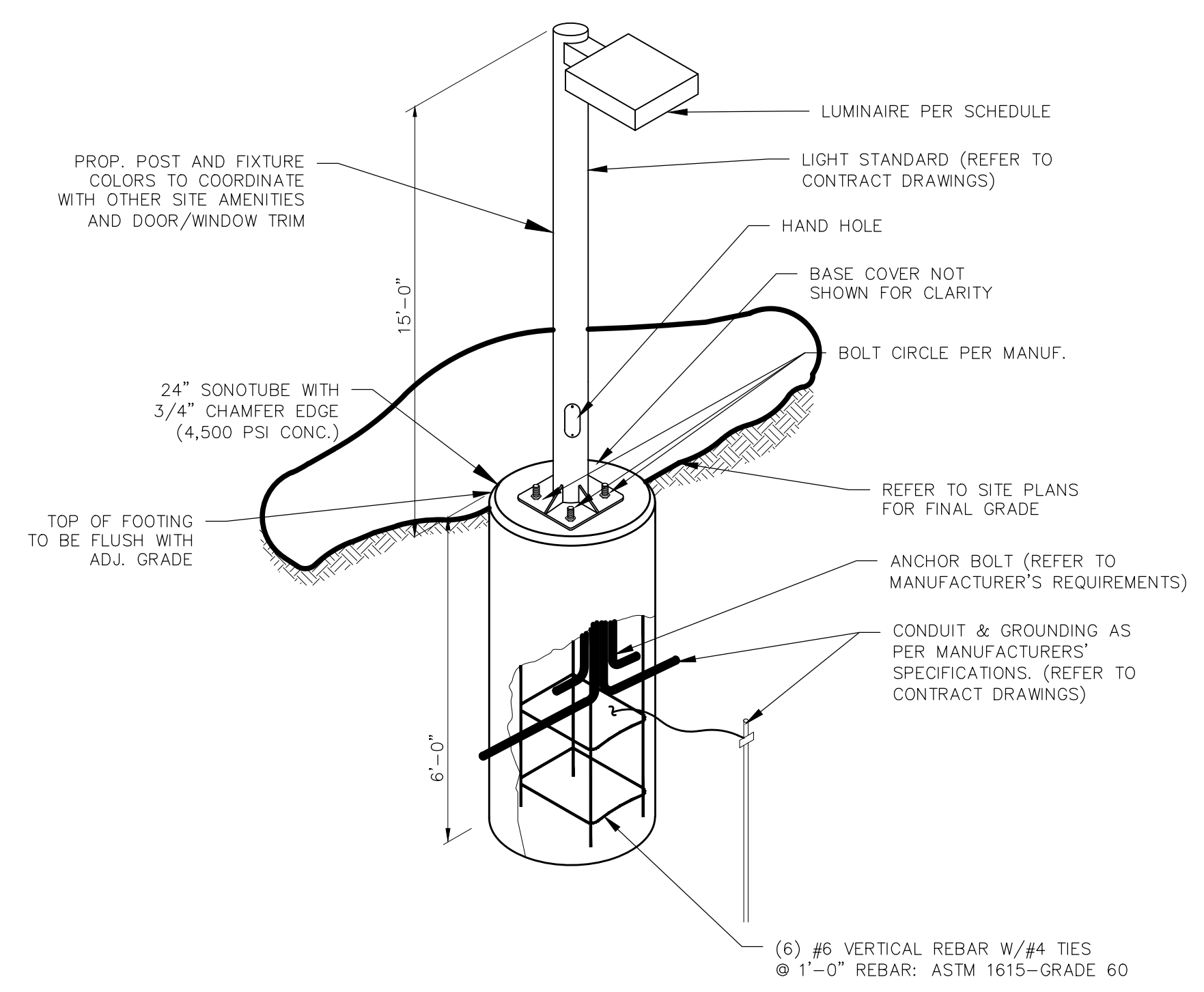
KBA ENGINEERING SERVICES LLC
Engineering | Planning

2517 Route 35, Bldg E, Ste 203
Manasquan, NJ 08726
P: (732)722-8555 F: (732)722-8557
KBAEngineers.com
Plans@KBAEngineers.com
Certificate of Authority No.: 24023822050

DRN	CHK
UJ	JK
PROJECT NO. 2023-024	
SCALE AS SHOWN	
DATE 10/9/2023	
SHEET 5 OF 7	

JOSEPH J. KOCIUBA, P.E., P.P.
 P.E. License No.: GE45850





TYPICAL PARKING LOT LIGHT
NOT TO SCALE

D-Series Size 0 LED Area Luminaire

EPA: 0.44 ft² (0.04 m²)
Length: 26.19" (66.5 cm)
Width: 14.06" (35.7 cm)
Height H1: 2.26" (5.7 cm)
Height H2: 7.46" (18.9 cm)
Weight: 23 lbs (10.4 kg)

Ordering Information
EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Series	LEDs	Color Temperature*	Color Rendering Index*	Distribution	Voltage	Mounting			
DSX0 LED	Forward optics	[this section 70CRI only]		A9	Automotive front row	TSM Type I medium			
		P1	P5	50K 3000K	70CRI	T15 Type I short	TSL6 Type I low glare	MVOLT (120V-277V) ¹	Shipped included SPA Square pole mounting (Ø8 drilling, 3.5" min. 50 pole) RPA Round pole mounting (Ø8 drilling, 3" min. ØND pole) SPAS Square pole mounting (Ø5 drilling, 3" min. 50 pole) ¹ RPAS Round pole mounting (Ø5 drilling, 3" min. ØND pole) ¹ SPAN Square narrow pole mounting (Ø8 drilling, 3" min. 50 pole) WBA Wall bracket ⁸ MA Max arm adapter (mounts on 2.28" Ø horizontal tenon)
		P2	P6	40K 4000K	70CRI	T2M Type II medium	T3M Type II medium	XVOLT (277V-480V) ¹⁰	
		P3	P7	50K 5000K	70CRI	T3M Type III medium	BL3C Type III backlight control ¹¹	120 N/A	
		P4	[this section 80CRI only, extended lead times apply]			T3M Type III low glare ¹	T3M Type III medium	208 N/A	
		P10 ¹	P12 ¹	27K 2700K	80CRI	T4M Type IV medium	BL4C Type IV backlight control ¹¹	240 N/A	
	P11 ¹	P13 ¹	30K 3000K	80CRI	T4M Type IV low glare ¹	LCCO Left corner cutoff ¹²	277 N/A		
	Related optics				TTM Forward throw medium	RCCO Right corner cutoff ¹²	347 N/A		
							480 N/A		

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Control options	Other options	Finish
Shipped installed NLTAR2 PIRHN sLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 20' N/A PIR High flow, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 20' N/A PER NEMA twist-lock receptacle only (controls ordered separately) ¹³ PERS Five-pin receptacle only (controls ordered separately) ¹³	PERY Seven-pin receptacle only (controls ordered separately) ¹³ FAD Field adjustable output ¹⁴ BL30 Bi-level switched dimming, 30% N/A BL50 Bi-level switched dimming, 50% N/A DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁵	Shipped installed IS House-side shield (black finish standard) ¹⁶ LW Left rotated optics RW Right rotated optics CCE Coastal Construction ¹⁷ HA 50°C ambient operation ¹⁸ BAA Bay Area (California) Act Compliant SF Single fuse (120, 277, 347V) ¹⁹ DF Double fuse (120, 240, 480V) ¹⁹ Shipped separately EGSR External Glass Shield (weatherable, field install required, matches housing finish) BS08 Bird Spikes (field install required)
		DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWHXD White DDBTDX Textured dark bronze DBLTDX Textured black DNATDX Textured natural aluminum DWHKDX Textured white

POLE-MOUNTED LIGHT

D-Series Size 1 LED Wall Luminaire

EPA: 0.44 ft² (0.04 m²)
Length: 26.19" (66.5 cm)
Width: 14.06" (35.7 cm)
Height H1: 2.26" (5.7 cm)
Height H2: 7.46" (18.9 cm)
Weight: 23 lbs (10.4 kg)

Ordering Information
EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTDX

Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

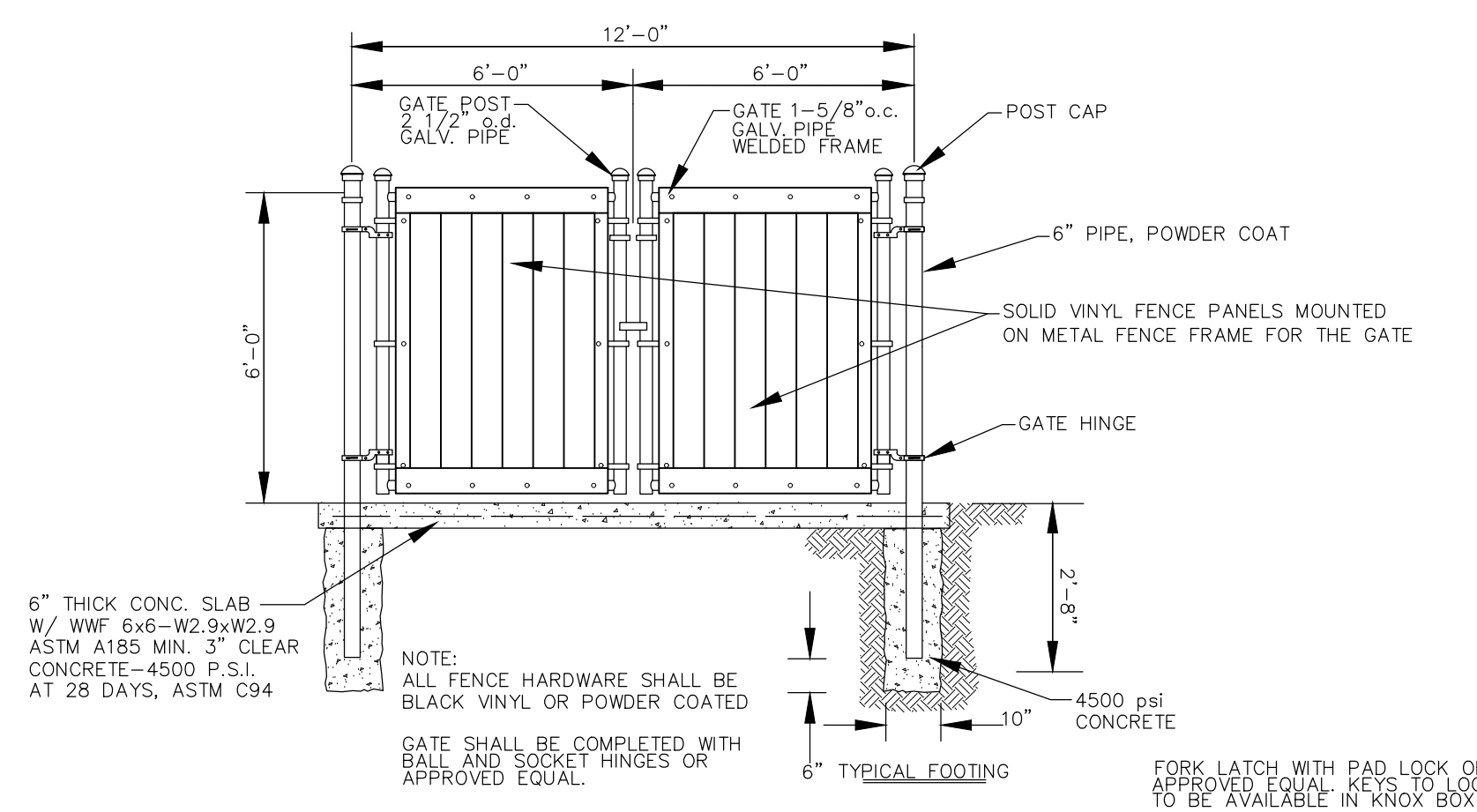
Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options		
DSXW1 LED	Forward optics	[this section 70CRI only]		A9	Automotive front row	TSM Type I medium	Shipped included SPA Square pole mounting (Ø8 drilling, 3.5" min. 50 pole) RPA Round pole mounting (Ø8 drilling, 3" min. ØND pole) SPAS Square pole mounting (Ø5 drilling, 3" min. 50 pole) ¹ RPAS Round pole mounting (Ø5 drilling, 3" min. ØND pole) ¹ SPAN Square narrow pole mounting (Ø8 drilling, 3" min. 50 pole) WBA Wall bracket ⁸ MA Max arm adapter (mounts on 2.28" Ø horizontal tenon)		
		P1	P5	50K 3000K	70CRI	T15 Type I short		TSL6 Type I low glare	MVOLT (120V-277V) ¹
		P2	P6	40K 4000K	70CRI	T2M Type II medium		T3M Type II medium	XVOLT (277V-480V) ¹⁰
		P3	P7	50K 5000K	70CRI	T3M Type III medium		BL3C Type III backlight control ¹¹	120 N/A
		P4	[this section 80CRI only, extended lead times apply]			T3M Type III low glare ¹		T3M Type III medium	208 N/A
		P10 ¹	P12 ¹	27K 2700K	80CRI	T4M Type IV medium		BL4C Type IV backlight control ¹¹	240 N/A
	Related optics				TTM Forward throw medium	RCCO Right corner cutoff ¹²	347 N/A		
							480 N/A		

Accessories

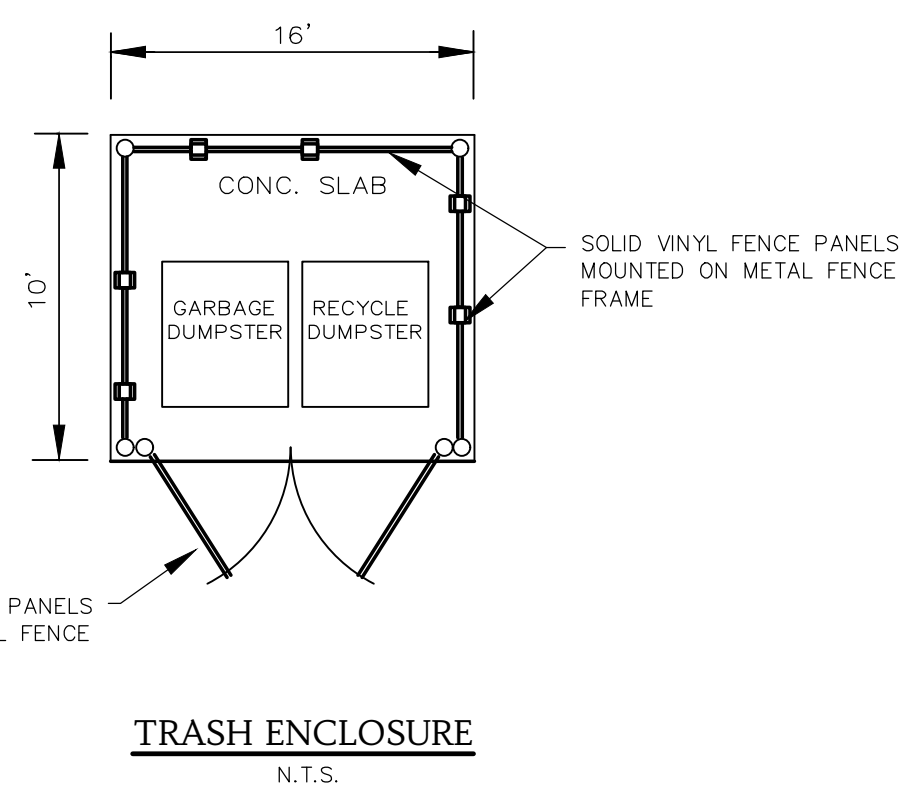
1. 20C 1000 is not available with PIR, PIRH, PIRHFCV or PIRHFCV.
 2. MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
 3. Single fuse SP requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
 4. Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
 5. Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
 6. Photocell (PC) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
 7. Reference Motion Sensor table on page 3.

BUILDING-MOUNTED LIGHT

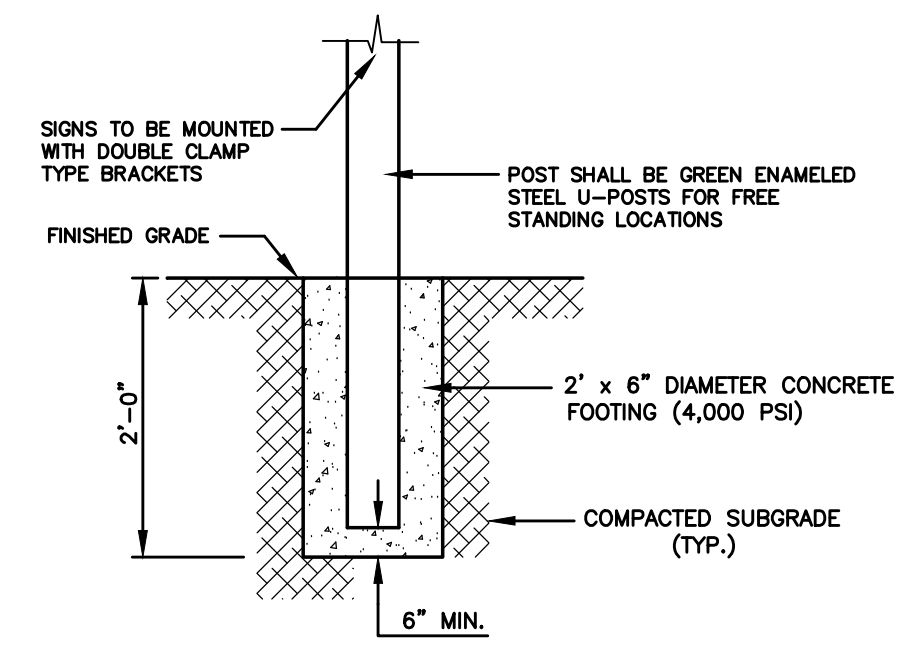
REV. NO.	DATE	DESCRIPTION
LIGHTING DETAILS PRELIMINARY AND FINAL MAJOR SITE PLAN 227 EAST MAIN STREET BLOCK 89 - LOT 1 FOR MICHAEL & CARA ROSE BOROUGH OF MANASQUAN MONMOUTH COUNTY, NEW JERSEY		
2517 Route 35, Bldg E, Ste 203 Manasquan, NJ 08736 P: (732)722-8555 F: (732)722-8557 KBEngineers.com Plans@KBEngineers.com Certificate of Authority No.: 24042822050		DRN LJ CHK JK PROJECT NO. 2023-024 SCALE AS SHOWN DATE 10/9/2023 SHEET 6 OF 7
JOSEPH J. KOCIUBA, P.E., P.P. P.E. License No.: GE45850		



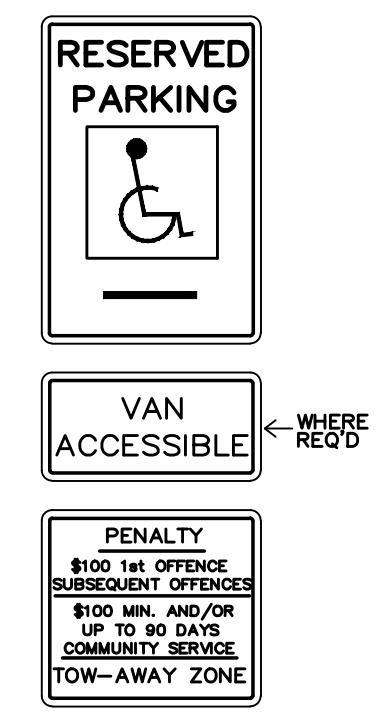
8' FENCE GATE AT TRASH ENCLOSURE
N.T.S.



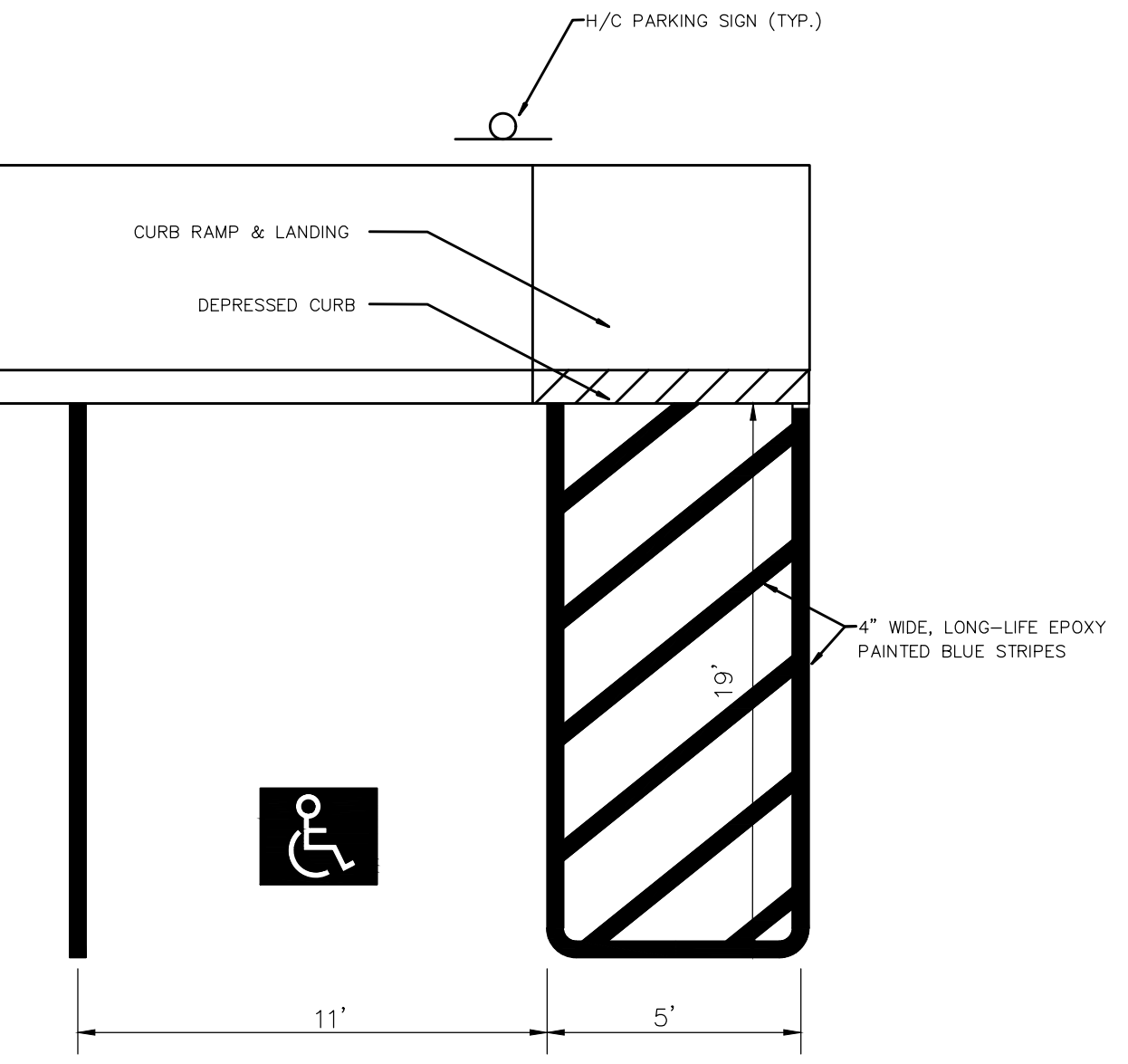
TRASH ENCLOSURE
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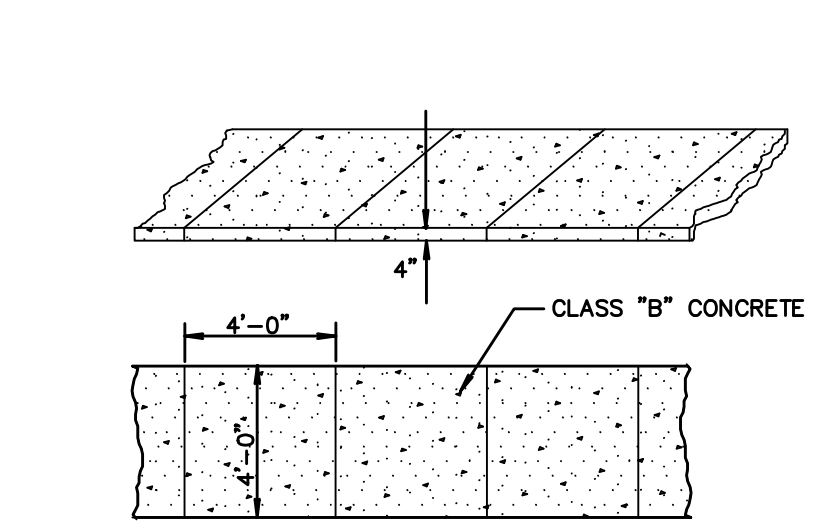
SIGN POST & FOOTING
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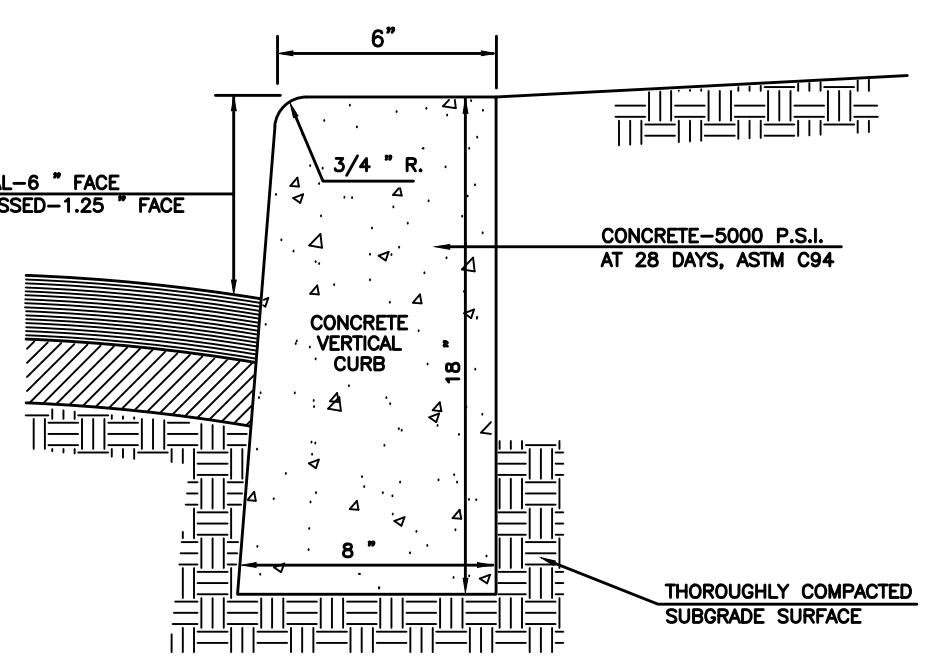
TRAFFIC CONTROL SIGNS
R7-8
N.T.S.



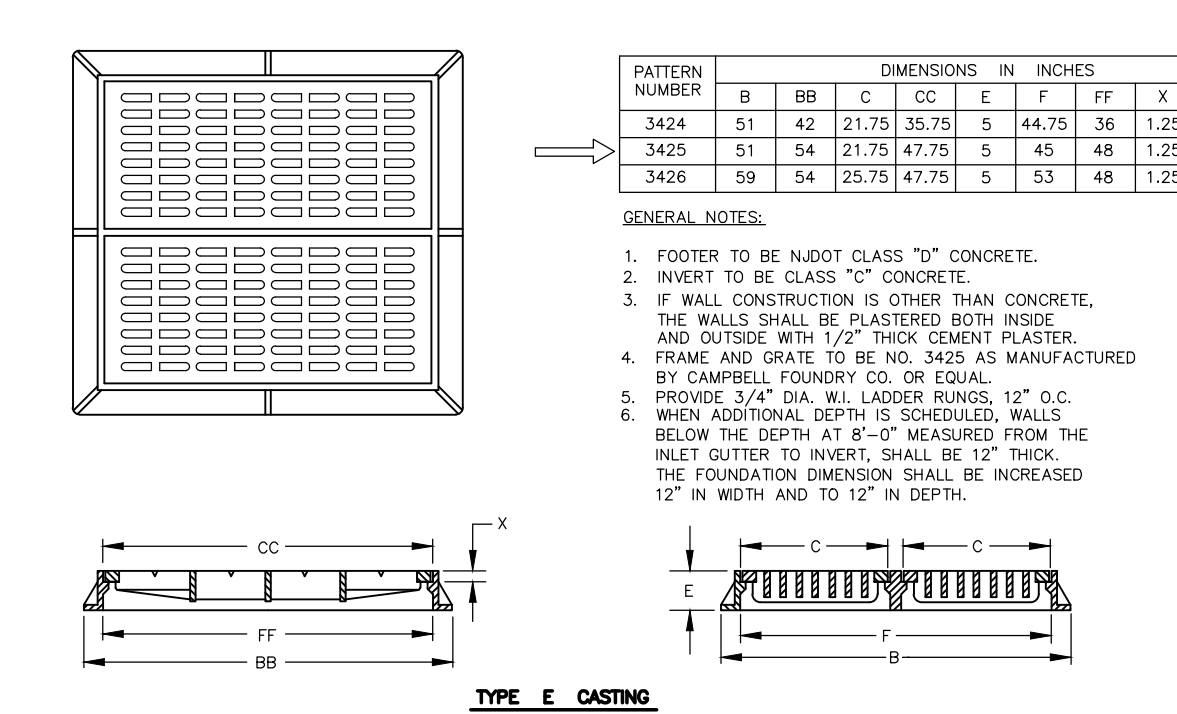
HANDICAP STALL
N.T.S.



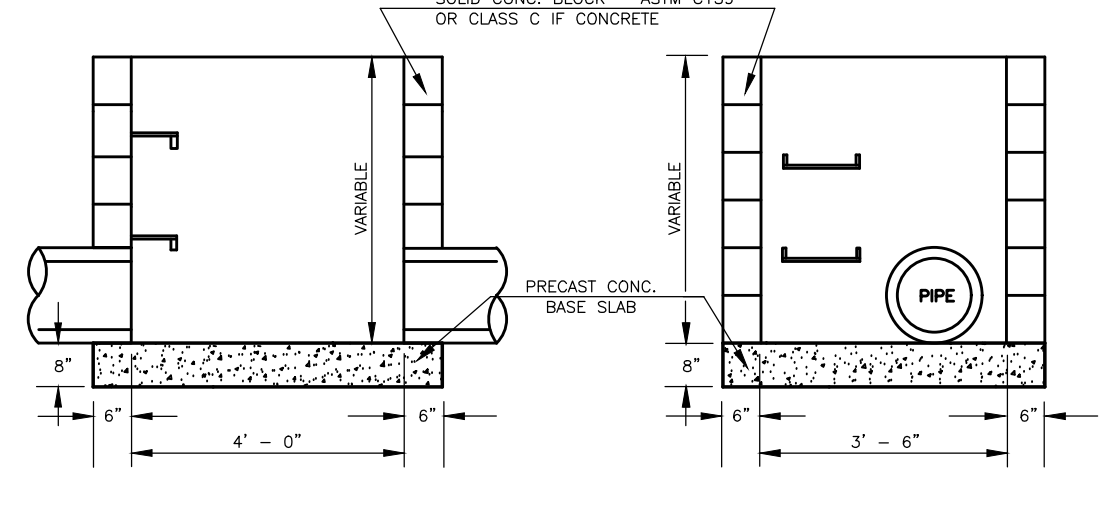
CONCRETE SIDEWALK
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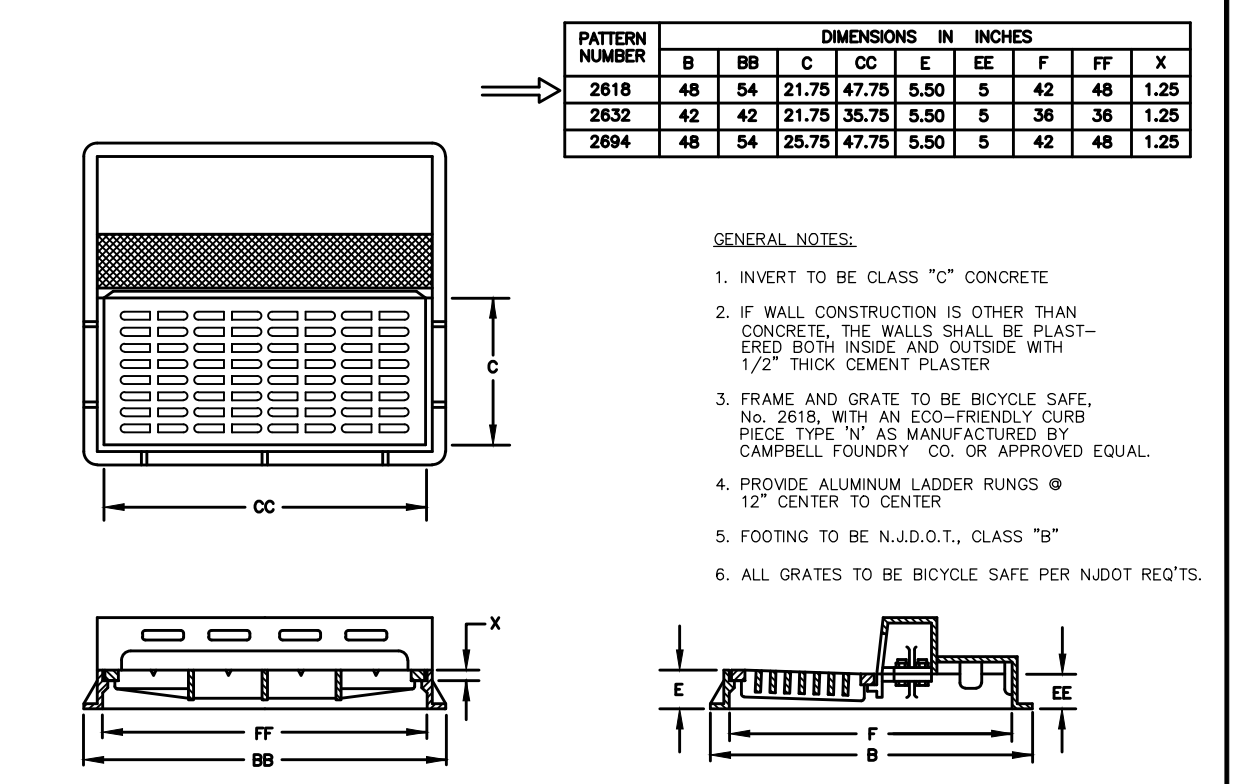
CONCRETE VERTICAL CURB
N.T.S.



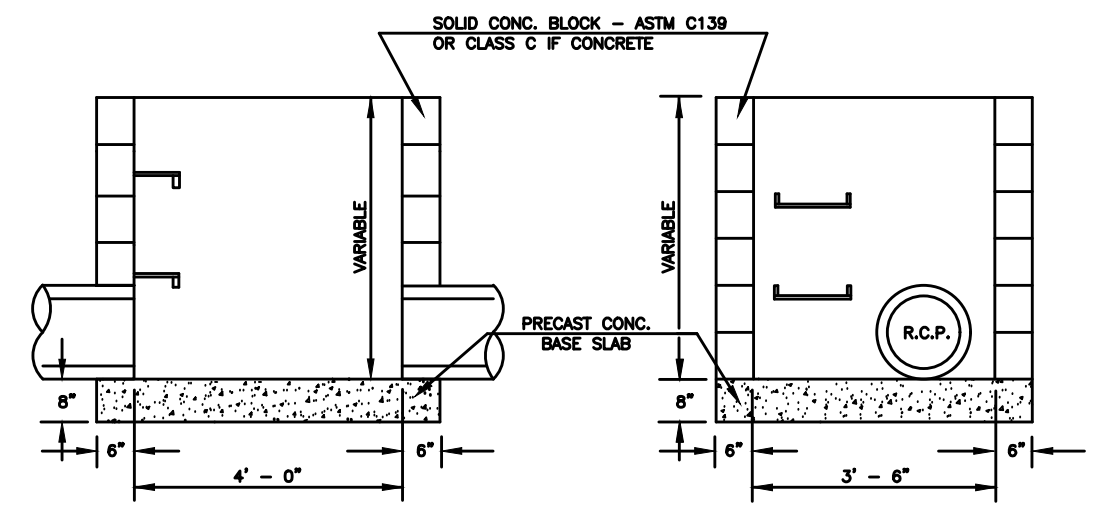
TYPE E CASTING



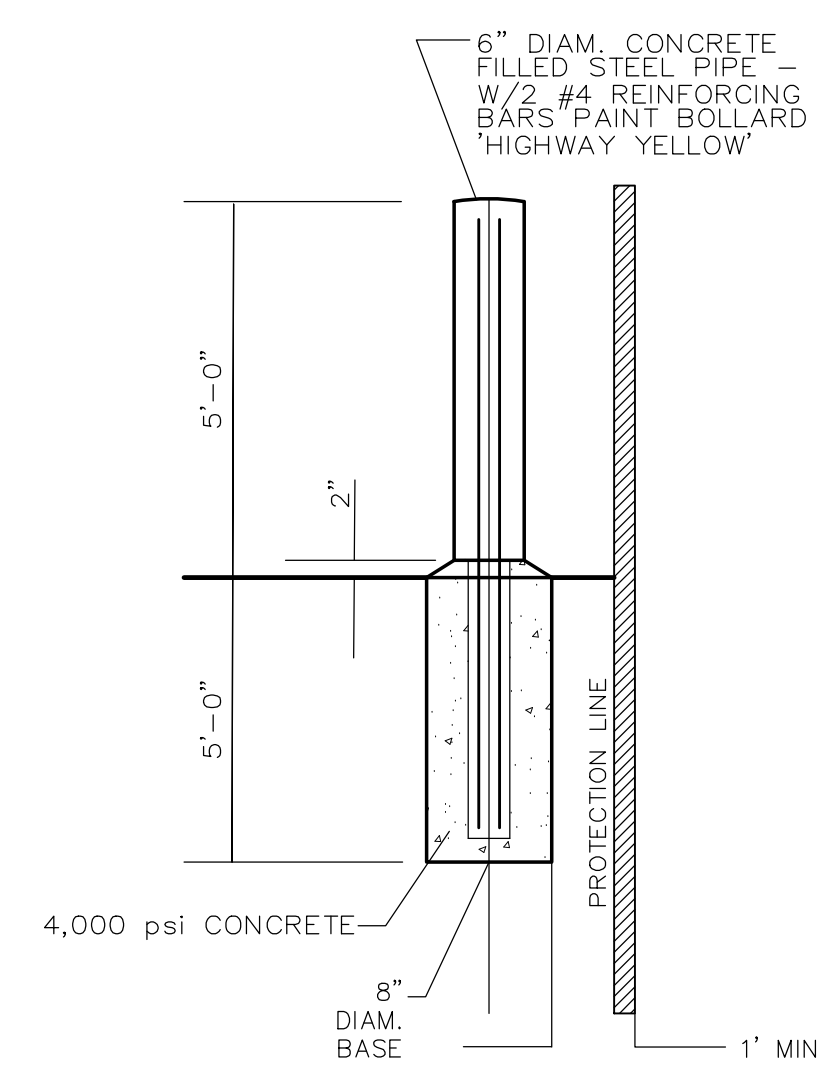
TYPE "E" INLET
NOT TO SCALE



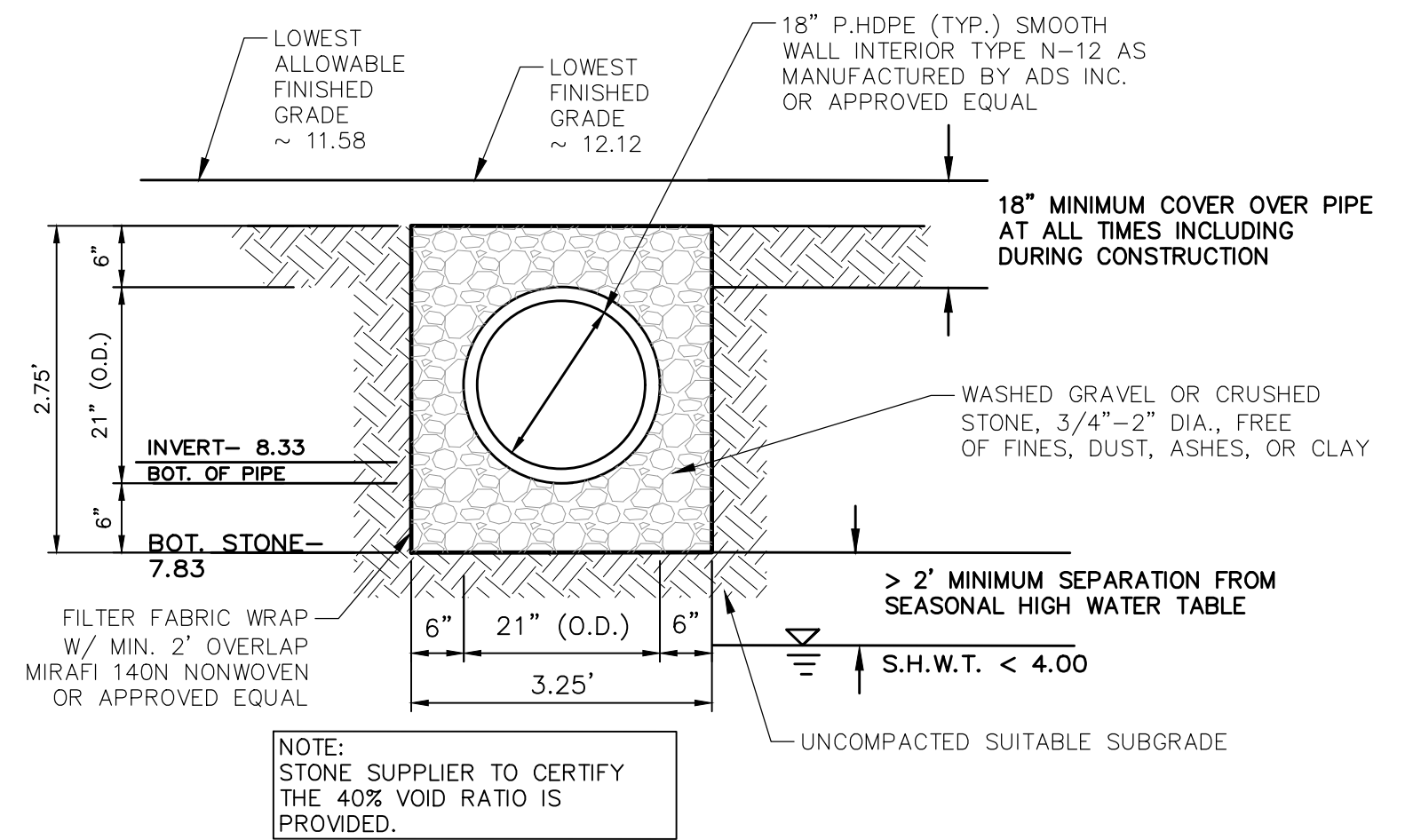
TYPE B CASTING



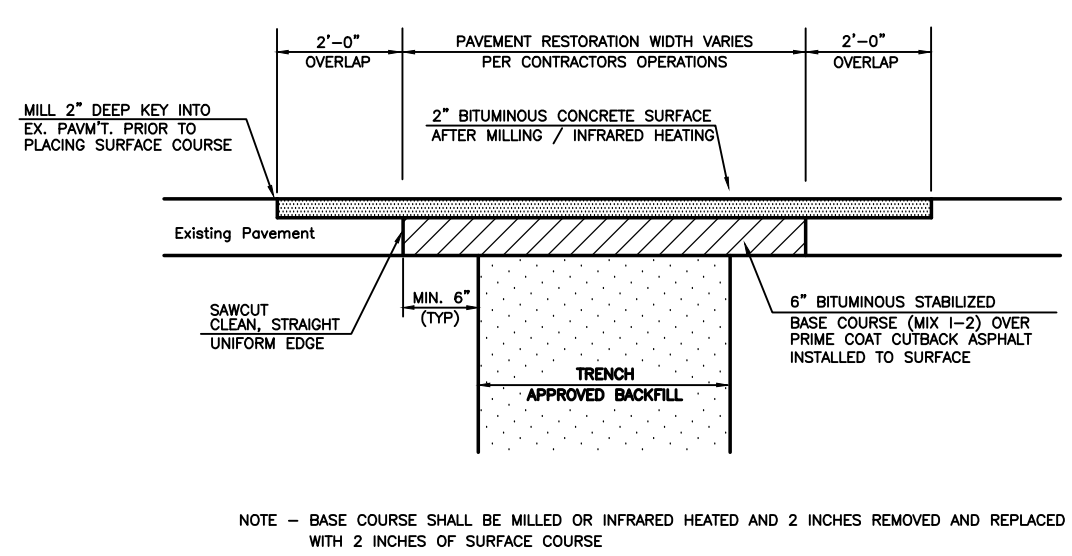
TYPE "B" INLET W/ ECO-FRIENDLY CURB PIECE
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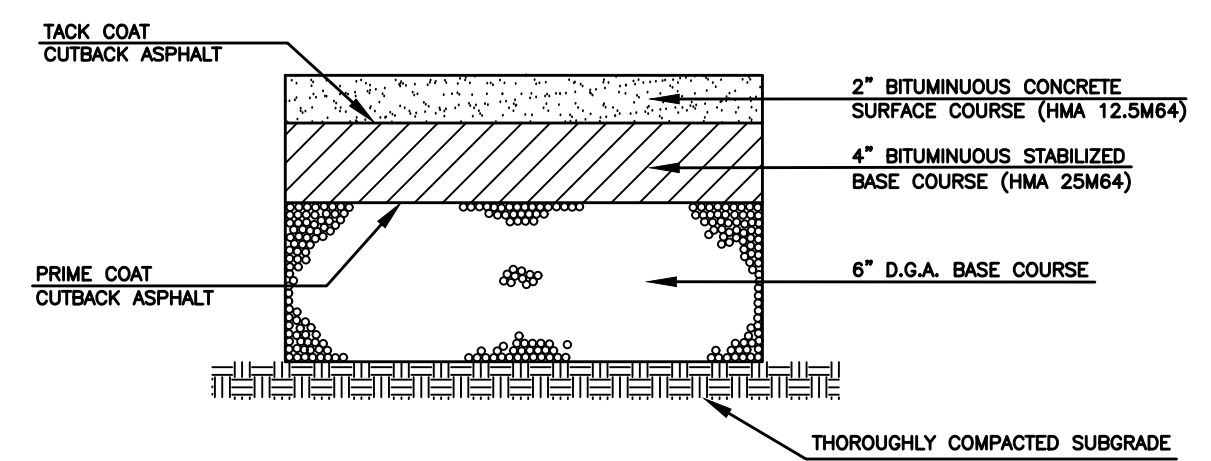
BOLLARD
N.T.S.



18\"/>



TRENCH RESTORATION
N.T.S.



IMPERVIOUS PAVEMENT SECTION
N.T.S.

PATTERN NUMBER	DIMENSIONS IN INCHES									
	B	BB	C	CC	E	F	FF	X		
3424	51	42	21.75	35.75	5	44.75	36	1.25		
3425	51	54	21.75	47.75	5	45	48	1.25		
3426	59	54	25.75	47.75	5	53	48	1.25		

PATTERN NUMBER	DIMENSIONS IN INCHES									
	B	BB	C	CC	E	F	FF	X		
2818	48	54	21.75	47.75	5.50	5	42	48	1.25	
2832	42	42	21.75	35.75	5.50	5	36	36	1.25	
2694	48	54	25.75	47.75	5.50	5	42	48	1.25	

- GENERAL NOTES:
- FOOTER TO BE NUDD CLASS "D" CONCRETE.
 - INVERT TO BE CLASS "C" CONCRETE.
 - IF WALL CONSTRUCTION IS OTHER THAN CONCRETE, THE WALLS SHALL BE PLASTERED BOTH INSIDE AND OUTSIDE WITH 1/2" THICK CEMENT PLASTER.
 - FRAME AND GRATE TO BE HD. 3425 AS MANUFACTURED BY CAMPBELL FOUNDRY CO. OR EQUAL.
 - PROVIDE 3/4" DIA. WL. LADDER RUNGS, 12" O.C.
 - WHEN ADDITIONAL DEPTH IS SCHEDULED, WALLS BELOW THE DEPTH AT 8'-0" MEASURED FROM THE INLET OUTER TO INVERT, SHALL BE 12" THICK. THE FOUNDATION DIMENSION SHALL BE INCREASED 12" IN WIDTH AND TO 12" IN DEPTH.

- GENERAL NOTES:
- INVERT TO BE CLASS "C" CONCRETE.
 - IF WALL CONSTRUCTION IS OTHER THAN CONCRETE, THE WALLS SHALL BE PLASTERED BOTH INSIDE AND OUTSIDE WITH 1/2" THICK CEMENT PLASTER.
 - FRAME AND GRATE TO BE BICYCLE SAFE, HD. 3425, WITH AN ECO-FRIENDLY CURB PERIODICALLY MANUFACTURED BY CAMPBELL FOUNDRY CO. OR APPROVED EQUAL.
 - PROVIDE ALUMINUM LADDER RUNGS @ 12" CENTER TO CENTER.
 - FOOTING TO BE N.J.D.O.T., CLASS "B".
 - ALL GRATES TO BE BICYCLE SAFE PER NUDD REQ'S.

REV. NO.	DATE	DESCRIPTION

CONSTRUCTION DETAILS
PRELIMINARY AND FINAL MAJOR SITE PLAN
227 EAST MAIN STREET
BLOCK 89 - LOT 1
FOR MICHAEL & CARA ROSE

BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY

	2517 Route 35, Bldg E, Ste 203 Manasquan, NJ 08735 P: (732)722-8555 F: (732)722-8557 Plans@KBAengineers.com KBAengineers.com Certificate of Authority No.: 24042822050	DRN LJ CHK JJK PROJECT NO. 2023-024 SCALE AS SHOWN DATE 10/9/2023 SHEET 7 OF 7
	JOSEPH J. KOCIUBA, P.E., P.P. P.E. License No.: GE45850	

SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. THE FIELD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY LAND DISTURBANCE.
- 2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- 3. ANY CHANGES TO THE EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL REQUIREMENTS.
- 4. N.J.S.A. 4:24-39 ET SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THERE HAS BEEN COMPLIANCE WITH PROVISIONS OF A CERTIFIED PLAN FOR PERMANENT MEASURES. ALL SITE WORK AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- 5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN THIRTY (30) DAYS, AND NOT SUBJECT TO CONSTRUCTION, TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF VEGETATION, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO STATE STANDARD PRACTICES.
- 6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 1 1/2 TO 2 TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- 7. A SUB-BASE COURSE SHALL BE APPLIED IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING TO IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
- 8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A STONE PAD AT ALL CONSTRUCTION DRIVEWAYS WHERE WHEELS WILL CAUSE PAVED ROADWAYS FROM UNPAVED AREAS OF THE SITE.
- 9. ALL SEDIMENT WASHED, DROPPED, SPOILED, OR TRACKED ONTO ROADWAYS (PUBLIC OR PRIVATE) OR OTHER IMPERVIOUS SURFACES WILL BE REMOVED IMMEDIATELY.
- 10. PERMANENT VEGETATION IS TO BE SEED OR SOILED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. THE TYPE AND AMOUNT OF SEED, LIME AND FERTILIZER HAVE BEEN USED FOR PERMANENT STABILIZATION WORK. STRAW MULCH IS REQUIRED ON ALL SEEDS.
- 11. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT AGGRESSIVE VEGETATIVE GROWTH SHOULD BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROWTH COVER OF THE ENVIRONMENT OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS.
- 12. NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- 13. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDING PREPARATION. AREAS WHERE TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE WITHIN A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
- 14. CONDUIT PROTECTION MUST BE INSTALLED AT ALL REQUIRED LOCATIONS PRIOR TO THE DRAINAGE SYSTEM BEING OPERATIONAL.
- 15. UNFILTERED Dewatering IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
- 16. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATION SHOULD BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
- 17. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN STAGING AND STOCKPILING NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE OBTAINING OF A DISTRICT PERMIT AND STRICT RESERVES TO BE PLANTED SHALL BE REQUIRED FOR THESE ACTIVITIES.
- 18. ALL STOCKPILES ARE TO BE CONSTRUCTION TO BE IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTES.
- 19. THE OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR DURING STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

DUST CONTROL:

DUST GENERATION SHALL BE CONTROLLED ON A CONSTANT BASIS BY WETTING THE SURFACE AND/OR APPLICATION OF CALCIUM CHLORIDE.

SEQUENCE OF CONSTRUCTION:

- 1. INSTALLATION OF TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSTALLED AT THE INITIATION OF LAND DISTURBANCE ACTIVITIES. ALL TEMPORARY SOIL EROSION MEASURES MUST BE INCLUDED (SILT FENCE, STONE STRIPPING PAD, TREE PROTECTION AND INLET PROTECTION).
- 2. INSTALLATION OF TEMPORARY SOIL EROSION CONTROL MEASURES - 3 DAYS
- 3. CLEARING OF LOT - 3 DAYS
- 4. CONSTRUCTION OF FOUNDATION & UTILITIES - 1 MONTH
- 5. CONSTRUCTION OF BUILDING - 3 MONTHS
- 6. FINAL GRADING & FINISHING INCLUDING: (4" MINIMUM) OF TOPSOIL & PERMANENT STABILIZATION OF ALL DISTURBED AREAS, INCLUDING SEEDBED PREPARATION, SEEDING, MULCHING, & TREE SETTING.
- 7. REMOVAL OF TEMPORARY SOIL EROSION CONTROL MEASURES - 3 DAYS
- 8. OBTAIN A FINAL REPORT OF COMPLIANCE FROM DISTRICT - 1 WEEK
- 9. ALL WORK MUST BE COMPLETED AND PERMANENT STABILIZED BEFORE REPORT OF COMPLIANCE IS ISSUED.
- 10. UNDERGROUND RECHARGE SYSTEM MUST BE CONSTRUCTED PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- 11. NOTIFICATION IS TO BE GIVEN TO FSD A MINIMUM OF FIVE (5) WORKING DAYS IN ADVANCE OF REQUESTED INSPECTION DATE.

STANDARD FOR TOPSOILING

DEFINITION: TOPSOILING ENTAILS THE DISTRIBUTION OF SUITABLE QUALITY SOIL ON AREAS TO BE VEGETATED.
PURPOSE: TO IMPROVE THE SOIL MEDIUM FOR PLANT ESTABLISHMENT AND MAINTENANCE.
WATER QUALITY ENHANCEMENT: GROWTH AND ESTABLISHMENT OF AGGRESSIVE VEGETATIVE COVER IS FACILITATED BY TOPSOIL. PREVENTING SOIL LOSS BY WIND AND RAIN OFFSITE AND INTO STREAMS AND OTHER STORMWATER CONVEYANCES.
WHERE APPLICABLE: TOPSOIL SHALL BE USED WHERE SOILS ARE TO BE DISTURBED AND WILL BE REVEGETATED.
METHODS AND MATERIALS:
 A. TOPSOIL SHOULD BE FRABLE, LOAMY, FREE OF DEBRIS, OBJECTIONABLE WEEDS AND STONKS, AND CONTAIN NO TOXIC SUBSTANCE OR ADVERSE CHEMICAL OR PHYSICAL CONDITION THAT MAY BE HARMFUL TO PLANT GROWTH. SOILS SHOULD NOT BE EXCESSIVE CONDUCTIVITY LESS THAN 0.5 MILLIMOHS PER CENTIMETER (MCM) OR MORE THAN 0.5 MILLIMOHS MAY DEGRADE SEEDLINGS AND ADVERSELY IMPACT GROWTH. TOPSOIL HAULED IN FROM OFFSITE SHOULD HAVE A MINIMUM WATER CONTENT OF 25 PERCENT ORGANIC MATTER CONTENT MAY BE RAISED BY ADDITIVES.
 B. TOPSOIL SUBSTITUTE IS A SOIL MATERIAL WHICH MAY HAVE BEEN AMENDED WITH SAND, SILT, CLAY, ORGANIC MATTER, FERTILIZER OR LIME AND HAS THE APPEARANCE OF TOPSOIL. TOPSOIL SUBSTITUTES MAY BE UTILIZED ON SITES WITH INSUFFICIENT TOPSOIL FOR ESTABLISHING PERMANENT VEGETATION. ALL TOPSOIL SUBSTITUTE MATERIALS MUST MEET THE REQUIREMENTS OF TOPSOIL NOTED ABOVE. SOIL TESTS SHALL BE PERFORMED TO DETERMINE THE PERCENTAGE OF SAND, SILT, CLAY, ORGANIC MATTER, SOLUBLE SALTS AND PH LEVELS.
 C. FIELD EXPLORATION SHOULD BE MADE TO DETERMINE WHETHER QUANTITY AND/OR QUALITY OF SURFACE SOIL JUSTIFIES STRIPPING.
 D. STRIPPING SHOULD BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
 E. WHERE FEASIBLE, LIME MAY BE APPLIED BEFORE STRIPPING AT A RATE DETERMINED BY SOIL TESTS TO BRING THE SOIL PH TO APPROXIMATELY 6.5.
 F. A 4-6 INCH STRIPPING DEPTH IS COMMON, BUT MAY VARY DEPENDING ON THE PARTICULAR SOIL.
 G. STOCKPILES OF TOPSOIL SHOULD BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
 H. STOCKPILES SHOULD BE VEGETATED IN ACCORDANCE WITH STANDARDS DESCRIBED HEREIN. SEE STANDARDS FOR PERMANENT (PG. 4-11) OR TEMPORARY (PG. 7-1) VEGETATIVE COVER FOR SOIL STABILIZATION. WEEDS SHOULD NOT BE ALLOWED TO GROW ON STOCKPILES.
III. SITE PREPARATION:
 A. GRADE AT THE ONSET OF THE OPTIMAL SEEDING PERIOD SO AS TO MAXIMIZE THE DURATION AND AREA OF EXPOSURE OF DISTURBED SOIL TO PROSOM, IMMEDIATELY PROCEED TO ESTABLISH VEGETATIVE COVER IN ACCORDANCE WITH THE SPECIFIED SEED MIXTURE. THIS IS OF THE ESSENCE.
 B. GRADE AS NECESSARY TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE. SEE THE STANDARD FOR LAND GRADING, PG. 19-1.
 C. AS GUIDANCE FOR IDEAL CONDITIONS, SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT. LIME, IF NEEDED, SHOULD BE APPLIED TO BRING SOIL TO A pH OF APPROXIMATELY 6.5 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES.
 D. IMMEDIATELY PRIOR TO TOPSOILING, THE SUBSOIL SHALL BE IN COMPLIANCE WITH THE STANDARD FOR LAND GRADING, PG. 19-1.
IV. APPLYING TOPSOIL:
 A. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE, I.E., LESS THAN FIELD CAPACITY.
 B. A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5.0 INCHES, MINIMUM OF 4 INCHES, FIRMED IN PLACE IS REQUIRED. ALTERNATIVE DEPTHS MAY BE CONSIDERED WHERE SPECIAL REGULATORY AND/OR INDUSTRY DESIGN STANDARDS ARE APPROPRIATE SUCH AS ON GOLF COURSES, SPORTS FIELDS, LANDFILL CAPING, ETC. SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A PH OF 4.0 OR MORE, IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS (PG. 1-1).
 C. PURSUANT TO THE REQUIREMENTS IN SECTION 7 OF THE STANDARD FOR PERMANENT VEGETATIVE STABILIZATION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT PERMANENT VEGETATIVE COVER BECOMES ESTABLISHED ON AT LEAST 80% OF THE SOILS TO BE STABILIZED WITH VEGETATION. FAILURE TO ACHIEVE THE MINIMUM COVERAGE MAY REQUIRE WORK TO BE PERFORMED BY THE CONTRACTOR TO INCLUDE SOME OR ALL OF THE FOLLOWING: SUPPLEMENTAL SEEDING, RE-APPLICATION OF LIME AND ANCHORING OF ORGANIC MATTER (I.E. COMPOST), OR THE APPLICATION OF TREE PRESSING. SUCH ADDITIONAL MEASURES SHALL BE BASED ON SOIL TESTS SUCH AS THOSE OFFERED BY Rutgers COOPERATIVE EXTENSION SERVICE OR OTHER APPROVED LABORATORY FACILITIES QUALIFIED TO TEST SOIL SAMPLES FOR AGRONOMIC PROPERTIES.

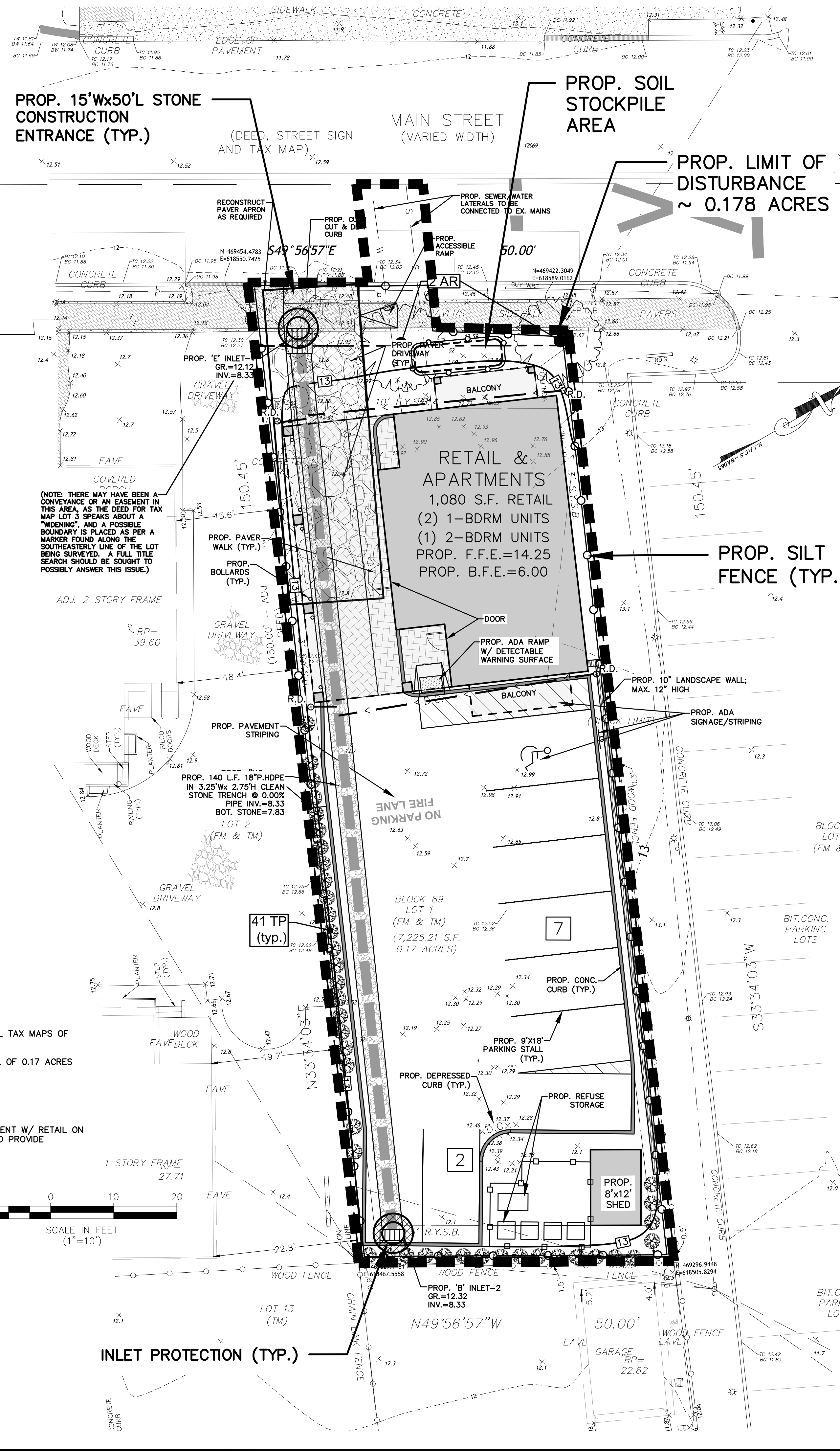
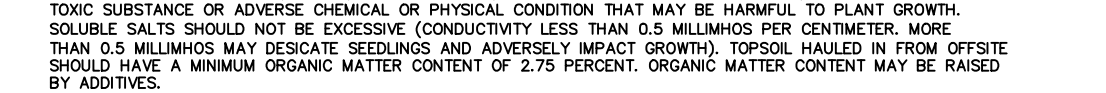
GENERAL NOTES:

- PROPERTY ID KNOWN AS BLOCK 89, LOT 1 AS SHOWN ON SHEET 16 OF THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.
- PROPERTY IS LOCATED IN THE BR-1 BUSINESS RETAIL ZONE AND CONTAINS A TOTAL OF 0.17 ACRES (7,225.21 S.F.).
- APPLICANT: MICHAEL AND CARA ROSE, 227 EAST MAIN STREET, MANASQUAN, NJ 08736

APPLICANT PROPOSES TO CONSTRUCT A 3-STORY MIXED USE BUILDING W/ A BASEMENT W/ RETAIL ON THE FIRST FLOOR AND RESIDENTIAL USE ON THE SECOND AND THIRD FLOORS AND TO PROVIDE ASSOCIATED OFF-STREET PARKING.

TAX MAP

SCALE 1" = 200'



PROP. 15'x50' L STONE CONSTRUCTION ENTRANCE (TYP.)

PROP. SOIL STOCKPILE AREA

PROP. LIMIT OF DISTURBANCE ~ 0.178 ACRES

RETAIL & APARTMENTS

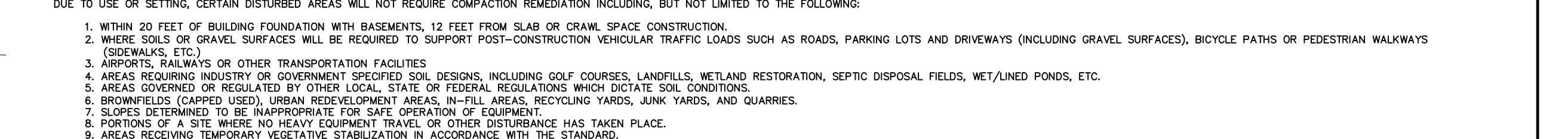
PROP. SILT FENCE (TYP.)

INLET PROTECTION (TYP.)

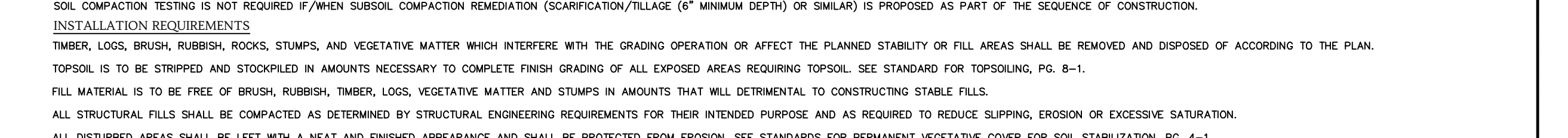
STANDARD FOR LAND GRADING

DEFINITION: RESHAPING THE GROUND SURFACE BY GRADING TO PLANNED ELEVATIONS WHICH ARE DETERMINED BY TOPOGRAPHIC SURVEY AND LAYOUT.
PURPOSE: THE PRACTICE IS FOR ONE OR MORE OF THE FOLLOWING: PROVIDE MORE SUITABLE SITES FOR LAND DEVELOPMENT; IMPROVE SURFACE DRAINAGE AND CONTROL EROSION.
CONDITIONS WHERE PRACTICE APPLIES: THIS PRACTICE IS APPLICABLE WHERE GRADING TO PLANNED ELEVATIONS IS PRACTICAL AND IT IS DETERMINED THAT GRADING IS NEEDED. GRADING THAT INVOLVES THE DISTURBANCE OF VEGETATION OVER LARGE AREAS SHALL BE AVOIDED. IT MAY BE NECESSARY TO PROVIDE FOR TEMPORARY STABILIZATION OF LARGE AREAS.
WATER QUALITY ENHANCEMENT: PROPER GRADING OF DISTURBED SITES WILL PROTECT AGAINST SOIL LOSS FROM EROSION, ENHANCE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER AND HELP TO PROPERLY MANAGE STORMWATER RUNOFF ALL OF WHICH WILL REDUCE OFF-SITE DISCHARGE OF POLLUTANTS.
PLANNING CRITERIA: THE GRADING PLAN AND INSTALLATION SHALL BE BASED UPON ADEQUATE SURVEYS AND INVESTIGATIONS. THE PLAN IS TO SHOW THE LOCATION, SLOPE, CUT, FILL AND FINISH ELEVATION OF THE SURFACES TO BE GRADED. THE PLAN SHOULD ALSO INCLUDE AUXILIARY PRACTICES FOR SAFE DISPOSAL OF RUNOFF WATER, SLOPE STABILIZATION, EROSION CONTROL, AND DRAINAGE. FACILITIES SUCH AS WATERWAYS, DITCHES, DIVERSIONS, GRADE STABILIZATION STRUCTURES, RETAINING WALLS, AND SUBSURFACE DRAINAGE SHOULD BE INCLUDED WHERE NECESSARY.
 1. THE CUT FACE OF EARTH EXCAVATIONS AND FILLS SHALL NOT BE STEEPER THAN THE SAFE ANGLE OF REPOSE FOR THE MATERIALS ENCOUNTERED AND FLAT ENOUGH FOR PROPER MAINTENANCE.
 2. THE PERMANENTLY EXPOSED FACES OF EARTH CUTS AND FILLS SHALL BE VEGETATED OR OTHERWISE PROTECTED FROM EROSION.
 3. PROVISIONS SHALL BE MADE TO SAFELY CONDUIT SURFACE WATER TO STORM DRAINS OR SUITABLE WATER COURSES AND TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES.
 4. SUBSURFACE DRAINAGE IS TO BE PROVIDED IN AREAS HAVING A HIGH WATER TABLE TO INTERCEPT SEepage THAT WOULD ADVERSELY AFFECT SOIL STABILITY, BUILDING FOUNDATIONS OR CREATE UNDESIRABLE WETNESS. SEE STANDARD FOR SUBSURFACE DRAINAGE, PG. 32-1.
 5. ADJACENT PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS.
 6. FILL SHALL NOT BE PLACED ADJACENT TO THE BANK OF A STREAM OR CHANNEL, UNLESS PROVISIONS ARE MADE TO PROTECT THE HYDRAULIC, BIOLOGICAL, AESTHETIC AND OTHER ENVIRONMENTAL FUNCTIONS OF THE STREAM.
SOIL MANAGEMENT AND PREPARATION: SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OR PERMANENT VEGETATIVE COVER.
 THIS SECTION OF THIS STANDARD ADDRESSES THE POTENTIAL FOR EXCESSIVE SOIL COMPACTION IN LIGHT OF THE INTENDED LAND USE. TESTING FOR EXCESSIVE SOIL COMPACTION WHERE PERMANENT VEGETATION IS TO BE ESTABLISHED AND MITIGATION OF EXCESSIVE SOIL COMPACTION WHEN APPROPRIATE.
 DUE TO USE OR SETTING, CERTAIN DISTURBED AREAS WILL NOT REQUIRE COMPACTION REMEDIATION INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 1. WITHIN 20 FEET OF BUILDING FOUNDATION WITH BASEMENTS, 12 FEET FROM SLAB OR CRAWL SPACE CONSTRUCTION.
 2. WHERE SOILS OR GRAVEL SURFACES WILL BE REQUIRED TO SUPPORT POST-CONSTRUCTION VEHICULAR TRAFFIC LOADS SUCH AS ROADS, PARKING LOTS AND DRIVEWAYS (INCLUDING GRAVEL SURFACES), BICYCLE PATHS OR PEDESTRIAN WALKWAYS (BODWALKS, ETC.).
 3. AIRPORTS, RAILWAYS OR OTHER TRANSPORTATION FACILITIES.
 4. AREAS REQUIRING INDUSTRY OR GOVERNMENT SPECIFIED SOIL DESIGNS, INCLUDING GOLF COURSES, LANDFILLS, WETLAND RESTORATION, SEPTIC DISPOSAL FIELDS, WET/INLET PONDS, ETC.
 5. AREAS COVERED OR REGULATED BY OTHER LOCAL, STATE OR FEDERAL REGULATIONS WHICH DICTATE SOIL CONDITIONS.
 6. BROWNIELDS (CAPED USED), URBAN REDEVELOPMENT AREAS, IN-FILL AREAS, RECYCLING YARDS, JUNK YARDS, AND QUARRIES.
 7. AREAS DETERMINED TO BE INAPPROPRIATE FOR SAFE OPERATION OF EQUIPMENT.
 8. PORTIONS OF A SITE WHERE NO HEAVY EQUIPMENT TRAVEL OR OTHER DISTURBANCE HAS TAKEN PLACE.
 9. AREAS RECEIVING TEMPORARY VEGETATIVE STABILIZATION IN ACCORDANCE WITH THE STANDARD.
 10. WHERE THE AREA AVAILABLE FOR REMEDIATION PRACTICES IS 500 SQUARE FEET OR LESS IN SIZE.
 11. LOCATIONS CONTAINING SHALLOW WATERS OR HIGH WATER TABLES.
AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION SHALL BE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
 SOIL COMPACTION REMEDIATION OR TESTING TO PROVE REMEDIATION IS NOT NECESSARY WHERE PERMANENT VEGETATION IS TO BE ESTABLISHED THAT ARE NOT OTHERWISE OBTAINED ABOVE. TESTING METHOD SHALL BE SELECTED, AND SOIL COMPACTION TESTING SHALL BE PERFORMED BY THE CONTRACTOR OR OTHER PROJECT OWNER'S REPRESENTATIVE (E.G. ENGINEER). A MINIMUM OF TWO (2) TESTS SHALL BE PERFORMED FOR PROJECTS WITH AN OVERALL LIMIT OF DISTURBANCE OF UP TO ONE (1) ACRE AND AT A RATE OF TWO (2) TESTS PER ACRE OF THE OVERALL LIMIT OF DISTURBANCE FOR LARGER AREAS WHICH SHALL BE EVENLY DISTRIBUTED OVER THE AREA OF DISTURBANCE SUBJECT TO TESTING. TESTS SHALL BE PERFORMED IN AREAS REPRESENTATIVE OF THE CONSTRUCTION ACTIVITY PREVAILING IN THE AREA. IN THE EVENT THIS TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED IN THIS TESTING METHOD, THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM COMPACTION MITIGATION OVER THE ENTIRE DISTURBED AREA (EXCLUDING EXEMPT AREAS) OR TO PERFORM ADDITIONAL TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION.
 SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARRIFICATION/TILLAGE (6\"/>

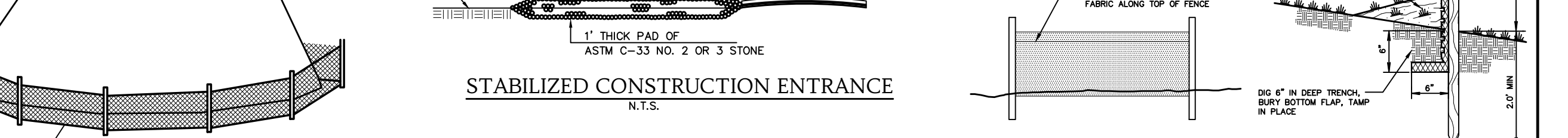
STABILIZED CONSTRUCTION ENTRANCE



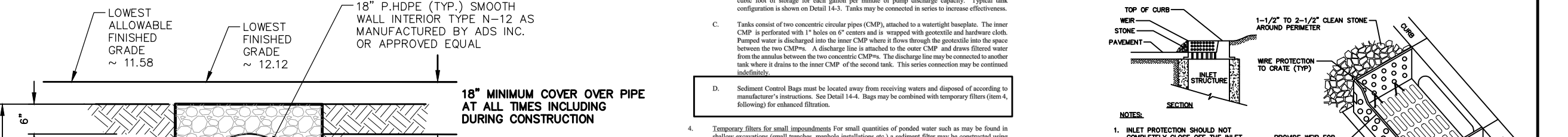
SOIL STOCKPILE



18\"/>



TYPE 'E' INLET PROTECTION DETAIL



COMPACTION TESTING REQUIREMENTS

- PROPERTY IS LOCATED IN AN "URBAN REDEVELOPMENT" AREA, SPECIFICALLY "METROPOLITAN PLANNING AREA" AND "NODES" PER THE POLICY MAP OF NEW JERSEY STATE DEVELOPMENT AND REDEVELOPMENT PLAN - MONMOUTH COUNTY.
- SITE HAS BEEN PREVIOUSLY DEVELOPED AS PER NJDEP REQUIREMENTS ("COVERED BY PAVED, GRAVEL OR DIRT DRIVEWAYS, STREETS, ROADS AND PARKING AREAS, GRAVEL, PAVEMENT, BUILDINGS, IMPERVIOUS SURFACES, LAWNS OR STRUCTURES.")
- THIS SITE IS EXCLUDED FROM THE REQUIREMENTS FOR SOIL COMPACTION REMEDIATION.

REV.	NO.	DATE	DESCRIPTION

SOIL EROSION & SEDIMENT CONTROL PLAN
PRELIMINARY AND FINAL MAJOR SITE PLAN
 227 EAST MAIN STREET
BLOCK 89 - LOT 1
 FOR MICHAEL & CARA ROSE
 BOROUGH OF MANASQUAN
 MONMOUTH COUNTY, NEW JERSEY

KBA ENGINEERING SERVICES LLC
 Engineering | Planning
 2517 Route 35, Bldg E, Ste 203
 Manasquan, NJ 08736
 P: (732)722.8555 | F: (732)722.8557
 kbaengineers.com
 Plans@KBAengineers.com
 Certificate of Authority No.: 24G28229000

DRN: [] CHK: [] JUK: []
 PROJECT NO.: 2023-024
 SCALE: AS SHOWN
 DATE: 10/9/2023
 SHEET: 1 OF 2

JOSEPH J. KOCIUBA, P.E., P.P.
 P.E. License No.: GE45850

STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

DEFINITION
ESTABLISHMENT OF PERMANENT VEGETATIVE COVER ON EXPOSED SOILS WHERE PERENNIAL VEGETATION IS NOT FOR LONG-TERM PROTECTION.

PURPOSE
TO PERMANENTLY STABILIZE THE SOIL, ENSURING CONSERVATION OF SOIL AND WATER, AND TO ENHANCE THE ENVIRONMENT.

WATER QUALITY ENHANCEMENT
SLOWS THE OVER-LAND MOVEMENT OF STORMWATER RUNOFF, INCREASES INFILTRATION AND RETAINS SOL AND NUTRIENTS ON SITE, PREVENTING STREAMS OR OTHER STORMWATER CONVEYANCES.

WHERE APPLICABLE
ON EXPOSED SOILS THAT HAVE A POTENTIAL FOR CAUSING OFF-SITE ENVIRONMENTAL DAMAGE.

METHODS AND MATERIALS

I. SITE PREPARATION
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDING PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.

II. SEEDING PREPARATION
A. UNIFORMITY APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS THOSE OFFERED BY RUTGERS CO-OPERATIVE EXTENSION SERVICE (HTTP://WWW.RUTGERS.EDU/COUNTY/). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 EQUIVALENT WITH 500 WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDING PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.

III. SEEDING
A. SELECT A MIXTURE FROM TABLE 4.2 OR USE A MIXTURE RECOMMENDED BY RUTGERS CO-OPERATIVE EXTENSION OR NATURAL RESOURCES CONSERVATION SERVICE WHICH IS APPROVED BY THE SOIL CONSERVATION DISTRICT. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RE-TESTED.

V. IRRIGATION (WHERE FEASIBLE)

IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO THREE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.

VI. TOPDRESSING

SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED IN SECTION 2A - SEEDBED PREPARATION IN THIS STANDARD, NO FURTHER TOPDRESSING IS MANDATORY. AN EXCEPTION MAY BE MADE WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. IN THAT INSTANCE, TOPDRESS WITH 10-10-10 OR EQUIVALENT AT 500 POUNDS PER ACRE TO 500 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS AMELIORATED.

VII. ESTABLISHING PERMANENT VEGETATIVE STABILIZATION

THE QUALITY OF PERMANENT VEGETATION RESISTS WITH THE CONTRACTOR THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN TABLE 4-2 ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A REPORT OF COMPLIANCE FROM THE DISTRICT. UP TO 25% REDUCTION IN APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER (OF THE SEED SPECIES) AND MOVED ONCE. NOTE THIS DESIGNATION OF MOVED ONCE DOES NOT GUARANTEE THE PERMANENCY OF THE TURF SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

TABLE 4-2 PERMANENT STABILIZATION MIXTURES FOR VARIOUS USES

APPLICATION	PLANTING MIXTURES BY SOIL DRAINAGE CLASS (SEE TABLE 4-3)				
	EXCESSIVELY DRAINED	WELL TO MODERATELY WELL DRAINED	SOMEWHAT POORLY TO POORLY DRAINED	POORLY DRAINED	NON-DRAINED
RESIDENTIAL/ COMMERCIAL LOTS	10, 12, 15	6, 10, 12, 13, 14, 15	16		
POND AND CHANNEL BANKS, DIKES, BERMS, AND DAMS	2, 5, 6, 10	5, 6, 7, 8, 9, 15	2, 8, 16, 17		
DRAINAGE DITCHES, SWALES, DETENTION BASINS	2, 9, 11	2, 7, 9, 11, 12, 17	2, 9, 16, 17		
FILTER STRIPS	12	11, 12	11, 12		
GRASSES, WATERWAY, SPILLWAYS	2, 3, 9, 10, 12	6, 7, 9, 10, 11, 12	2, 9, 11, 12		
RECREATION AREAS, ATHLETIC FIELDS	5, 12, 15, 18	12, 13, 14, 15, 18	16		
SPECIAL PROBLEM SITES STEEP SLOPES AND BANKS, ROADSIDES, BORROW AREAS	2, 3, 4, 6	2, 3, 5, 7, 8, 9, 10, 15, 18	2, 9, 10, 11, 12		
SAND AND GRAVEL PITS, SANDIARY LANDFILLS	1, 2, 3, 4, 6, 20	1, 2, 3, 4, 5, 6, 8, 15, 20	2, 8		
DREDGED MATERIAL, SOIL BANKS, BORROW AREAS	2, 3, 6, 20	2, 3, 6, 11	2, 8		
UTILITY RIGHTS-OF-WAY	3, 7, 180	3, 7	8, 9, 17		

1. REFER TO SOIL SURVEYS FOR DRAINAGE CLASS DESCRIPTIONS.
2. REFER TO SOIL BIOENGINEERING STANDARD FOR ADDITIONAL SEED MIXTURES.
3. SPILLWAYS ONLY.
4. SEE APPENDIX E FOR DESCRIPTION OF TURF GRASSES AND CULTIVARS.

TABLE 4-3 SEED MIXTURES (PERMANENT SEED MIXTURES #1# OR #15 PREFERRED)

SEED MIXTURE	PLANTING RATE (POUNDS PER ACRE)	PLANTING RATE (POUNDS PER ACRE)								REMARKS
		PER ACRE	PER 1,000 SQ. FEET	ZONE 5b, 6a	ZONE 6b	ZONE 7a, b	ZONE 7c, 8	ZONE 8	ZONE 9	
WARM SEASON SEED MIXTURE										
1. SWITCHGRASS AND/OR PERENIAL RYEGRASS	15	30	0	0	0	0	0	0	0	C-0
2. DEERTONGUE	10	20								
3. SWIFTGRASS	15	30								
4. NINE-LEAF PASTURE PEG	20	40								
5. SWITCHGRASS	15	30								
6. BIG BLUESTEM	5	10								
7. SAND LIVERGRASS	4	8								
8. NINE-LEAF PASTURE PEG	20	40								
9. BERMUDAGRASS	15	30								C-0
10. ZOYSIAGRASS (SEED)	30	60								C-0
11. ZOYSIAGRASS (SPRIGS)										
COOL SEASON SEED MIXTURE										
12. FINE FESCUE (BLENDED)	45	90								B-0
13. CHESTNUT LEAF FESCUE	45	90								
14. KENTUCKY BLUEGRASS	45	90								
15. PERENIAL RYEGRASS OR WHITE CLOVER (SEE NOTE)	20	40								
16. STRONG CREEPING RED FESCUE	150	300								B-0
17. PERENIAL RYEGRASS OR PLUS WHITE CLOVER	20	40								
18. TALL FESCUE (TURF-TYPE) OR PERENIAL RYEGRASS	30	60								B-0
19. TALL FESCUE (TURF-TYPE) OR PERENIAL RYEGRASS	30	60								
20. PERENIAL RYEGRASS	45	90								
21. DEERTONGUE	20	40								C-0
22. NINE-LEAF PASTURE PEG	15	30								
23. STRONG CREEPING RED FESCUE	150	300								
24. CREEPING BENTGRASS	45	90								B-0
25. ALKALI SACBANDWAGON	45	90								
26. BARNARD OR SHEEP FESCUE	22	44								C-0
27. NINE-LEAF PASTURE PEG	12	24								
28. SMOOTH CODOGRASS	12	24								
29. SALTMEADOW CODOGRASS	12	24								
30. AMERICAN BEACH GRASS	VEG									D
31. PINEAPPLE MALLOW	VEG									D
32. DRAKOW MALLOW	VEG									D
33. BUCKWHEAT	VEG									D
34. SLAKY DOGWOOD	VEG									D

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

A. STRAW OR HAY. UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

APPLICATION - SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 80% OF THE SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FOOT SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.

ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.

1. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
2. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOVED.
3. CRIMPER (MULCH ANCHORING TOOL), A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVELLED BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.

4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY, HAY, OR STRAW MULCH.
 - a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
 - b. USE ONE OF THE FOLLOWING:
 - (1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE POLYMERS WILL BE PHYSIOLOGICALLY BENEFICIAL AND NOT RESULT IN A PHYTOLOGIC EFFECT OR IMPIDE GROWTH OF TURF GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - (2) SYNTHETIC BINDERS - HIGH-POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND, FOLLOWING APPLICATION OF MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHOULD BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

5. WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS, OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEDER. MULCH SHALL NOT BE MIXED WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

6. PELLETED MULCH - COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS (OR OTHER FACILITIES). PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS./1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS WATER SHOULD BE BENEFICIAL FOR USE ON SMALL LAWNS OR ORNAMENTAL AREAS. SEEDS AREA WHERE WEED-SEED FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE.
7. SPRINKLING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

STANDARD FOR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

DEFINITION
ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER ON SOILS EXPOSED FOR PERIODS OF TWO TO SIX MONTHS, WHICH ARE NOT BEING GRADED, NOT UNDER ACTIVE CONSTRUCTION OR NOT SCHEDULED FOR PERMANENT SEEDING WITHIN 60 DAYS.

PURPOSE
TO TEMPORARILY STABILIZE THE SOIL AND REDUCE DAMAGE FROM WIND AND WATER EROSION UNTIL PERMANENT STABILIZATION IS ACCOMPLISHED.

WATER QUALITY ENHANCEMENT
WATER QUALITY PROTECTION AGAINST THE IMPACTS OF WIND AND RAIN, SLOWS THE OVER LAND MOVEMENT OF STORMWATER RUNOFF, INCREASES INFILTRATION AND RETAINS SOL AND NUTRIENTS ON SITE, PRETECTING STREAMS OR OTHER STORMWATER CONVEYANCES.

WHERE APPLICABLE
ON EXPOSED SOILS THAT HAVE THE POTENTIAL FOR CAUSING OFF-SITE ENVIRONMENTAL DAMAGE.

METHODS AND MATERIALS

I. SITE PREPARATION
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.

II. SEEDING PREPARATION
A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS THOSE OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAIERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION SERVICE. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 EQUIVALENT WITH 500 WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. CALCIUM CARBONATE IS THE EQUIVALENT STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.

III. SEEDING
A. SELECT SEED FROM RECOMMENDATIONS IN TABLE 7.2

SEED SELECTIONS	PER ACRE	PER 1,000 SQ. FEET	SEEDING RATE ¹ (POUNDS)	OPTIMUM SEEDING DATE ² BASED ON PLANT HARDINESS ZONE ³	OPTIMUM SEED DEPTH ⁴ (INCHES)
COOL SEASON GRASSES					
PERENNIAL RYEGRASS	100	1.0	3/15 to 6/11	3/1 to 5/15	2/15 to 5/1
SPRING OATS	86	2.0	3/15 to 6/11	3/15 to 5/15	2/15 to 5/1
WINTER BARLEY	96	2.2	8/1 to 9/15	8/15 to 10/1	8/15 to 10/15
ANNUAL RYEGRASS	100	1.0	3/15 to 6/11	3/15 to 6/11	2/15 to 5/1
WINTER CEREAL RYE	112	2.8	8/1 to 11/1	8/1 to 11/15	8/1 to 12/15
WARM SEASON GRASSES					
PEARL MILLET	20	0.5	6/1 to 8/1	5/15 to 8/15	5/1 to 9/1
MILLET (GERMAN OR HUNGARIAN)	30	0.7	6/1 to 8/1	5/15 to 8/15	5/1 to 9/1

1. SEEDING RATE FOR WARM SEASON GRASS, SELECTIONS 5-7 SHALL BE ADJUSTED TO REFLECT THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY A GERMINATION TEST RESULT. NO ADJUSTMENT IS REQUIRED FOR COOL SEASON GRASSES.
2. MAY BE PLANTED THROUGHOUT SUMMER IF SOIL MOISTURE IS ADEQUATE OR SEEDED AREA CAN BE IRRIGATED.
3. PLANT HARDINESS ZONE (SEE FIGURE 7-1, PG. 7-4).
4. TWICE THE DEPTH FOR SANDY SOILS.

B. CONVENTIONAL SEEDING - APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL, OR CULTIPACKER SEEDER, EXCEPT FOR DRILLED, HYDROSEEDER, OR CULTIPACKER SEEDING. SEED SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.

C. HYDROSEEDING IS A BROADCAST SEEDING METHOD INVOLVING A TRUCK OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER, AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDING MULCH. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH WILL BE APPLIED WITH A HYDROSEDER FOLLOWING SEEDING.

D. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDING EMERGENCE. THIS IS THE PREFERRED METHOD, WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL MAXIMIZED.

IV. MULCHING

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

A. STRAW OR HAY. UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

APPLICATION - SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 95% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FOOT SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.

ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.

1. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
2. MULCH NETTINGS, STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOVED.
3. CRIMPER (MULCH ANCHORING TOOL), A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVELLED BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF THE SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE, NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.

4. LIQUID-MULCH-BINDERS - MAY BE USED TO ANCHOR HAY OR STRAW MULCH.
 - a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
 - b. USE ONE OF THE FOLLOWING:
 - (1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE POLYMERS WILL BE PHYSIOLOGICALLY BENEFICIAL AND NOT RESULT IN A PHYTOLOGIC EFFECT OR IMPIDE GROWTH OF TURFGRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - (2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A COMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

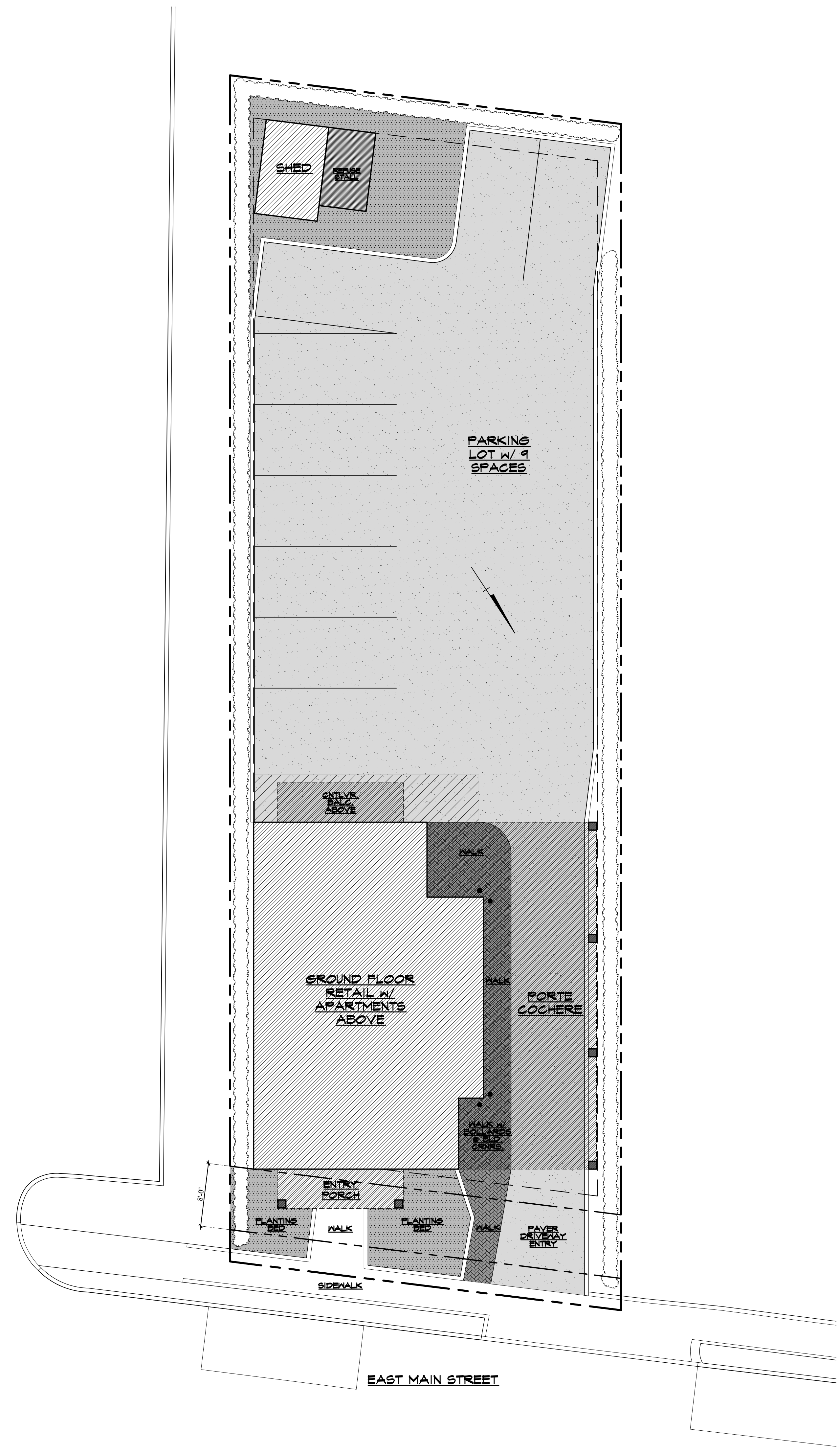
5. WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS, OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEDER. THIS MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

6. PELLETED MULCH - COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS (OR OTHER FACILITIES). PELLETED MULCH SHALL BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS./1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS WATER SHOULD BE BENEFICIAL FOR USE ON SMALL LAWNS OR ORNAMENTAL AREAS. SEEDS AREA WHERE WEED-SEED FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NO PRACTICAL OR DESIRABLE.

APPLICATION - SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 80% OF THE SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FOOT SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.

ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.

A. STRAW OR HAY. UNROTTED SMALL GR



227 EAST MAIN STREET MIXED USE NEW CONSTRUCTION

MANASQUAN, NEW JERSEY 08736

- LIST OF DRAWINGS:**
- A-01 ARCHITECTURAL SITE PLAN & PROJECT INFORMATION
 - A-02 BASEMENT & FIRST FLOOR PLANS
 - A-03 SECOND & THIRD FLOOR PLANS
 - A-04 ROOF PLAN W/ MECHANICAL ROOF DECK
 - A-05 NORTHEAST & NORTH WEST ELEVATIONS
 - A-06 SOUTHWEST & SOUTHEAST ELEVATIONS

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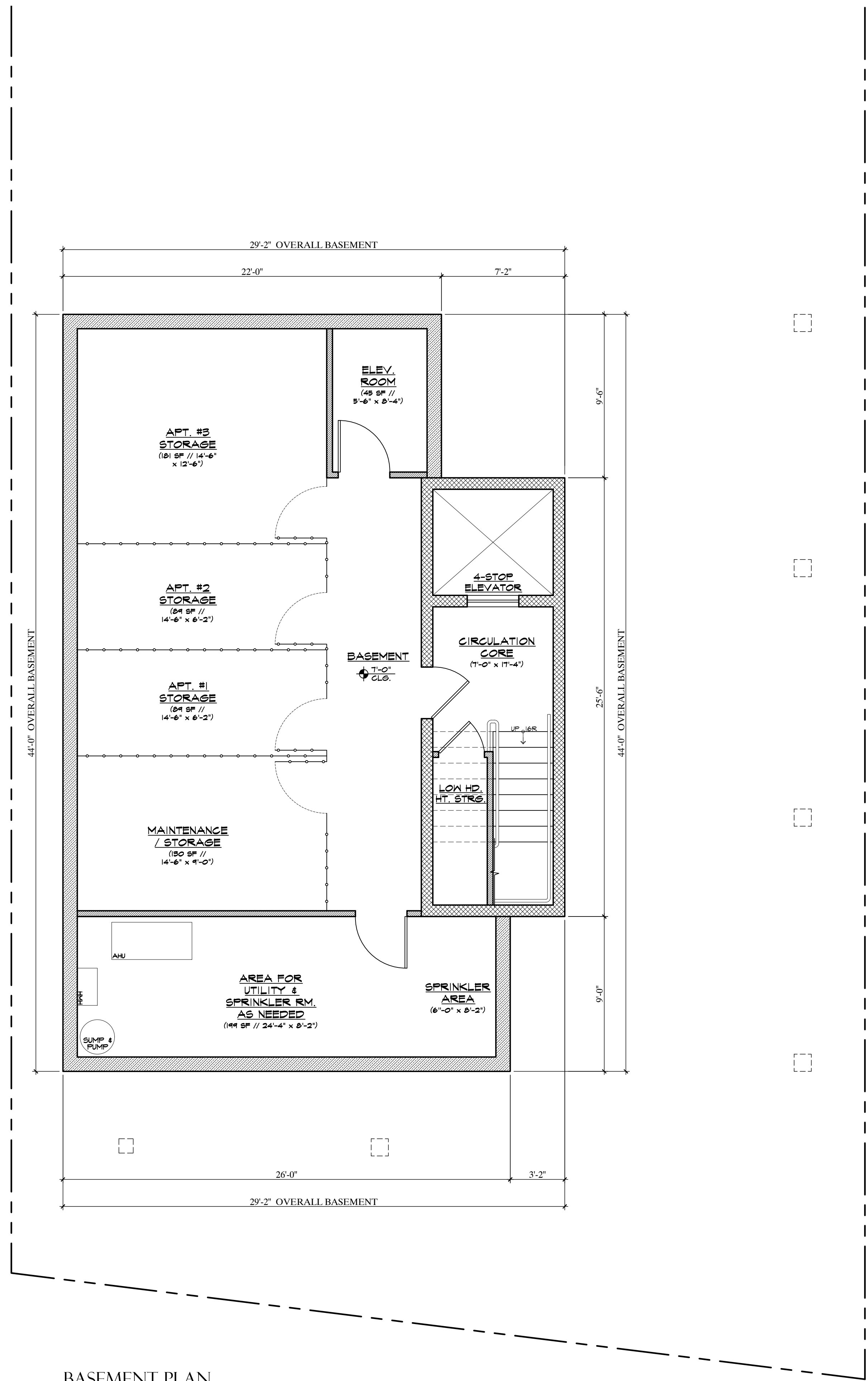
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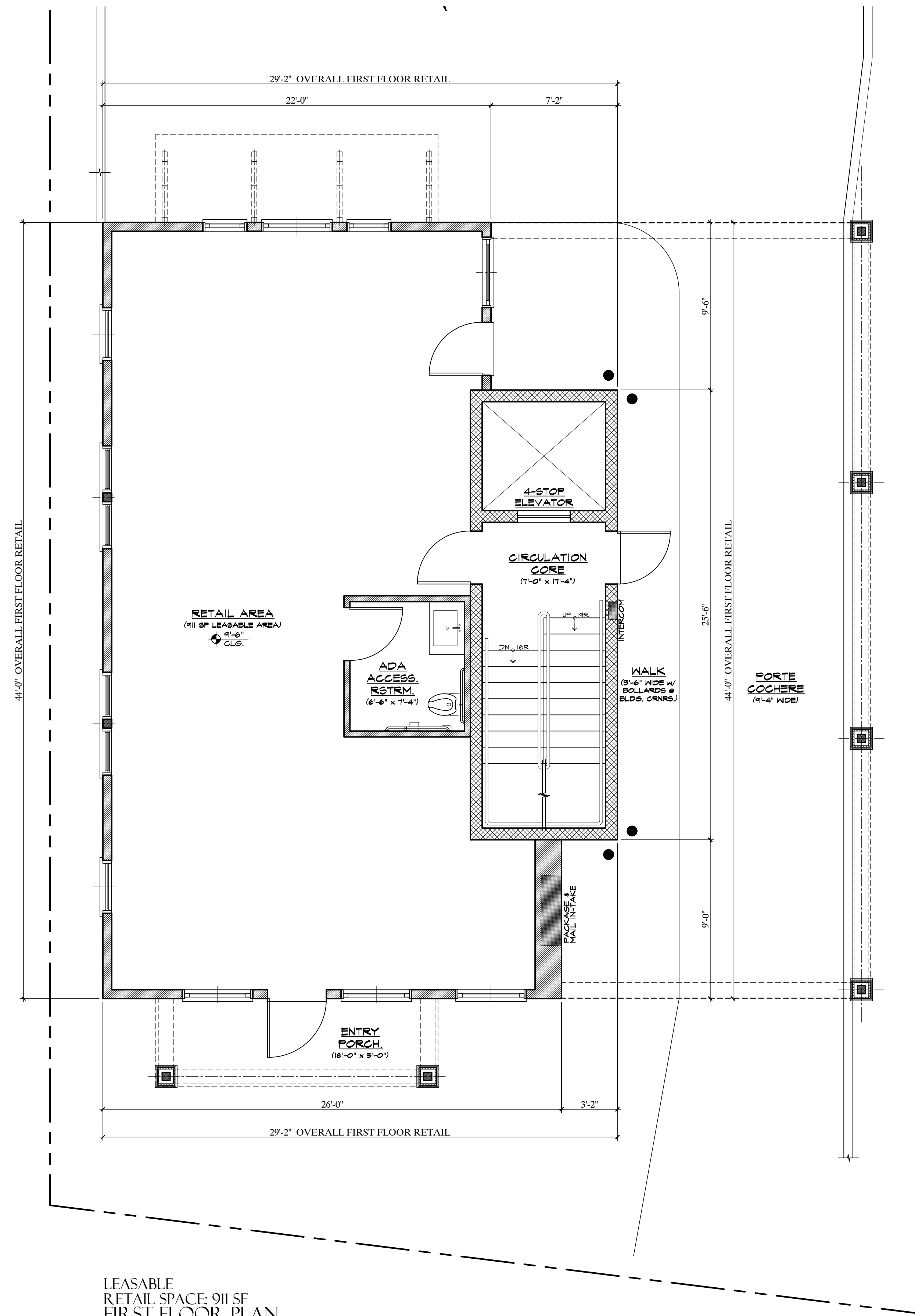
REVISIONS:

SHEET TITLE TITLE SHEET, BUILDING INFO, & ARCHITECTURAL SITE PLAN		SHEET NUMBER	
SCALE AS NOTED		A-01	
ISSUE DATE 8/9/23	PROJECT NUMBER 2230		
SHEET 1 OF 6			

ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"



BASEMENT PLAN
SCALE: 1/8" = 1'-0"



**LEASABLE
RETAIL SPACE: 911 SF
FIRST FLOOR PLAN**
SCALE: 1/8" = 1'-0"

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REVIEWED BY: BTM

REVISIONS

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SHEET TITLE: FIRST FLOOR RETAIL & BASEMENT PLAN

SCALE: AS NOTED	SHEET NUMBER: A-0.2
ISSUE DATE: 8/9/23	PROJECT NUMBER: 2230
SHEET 2 OF 6	

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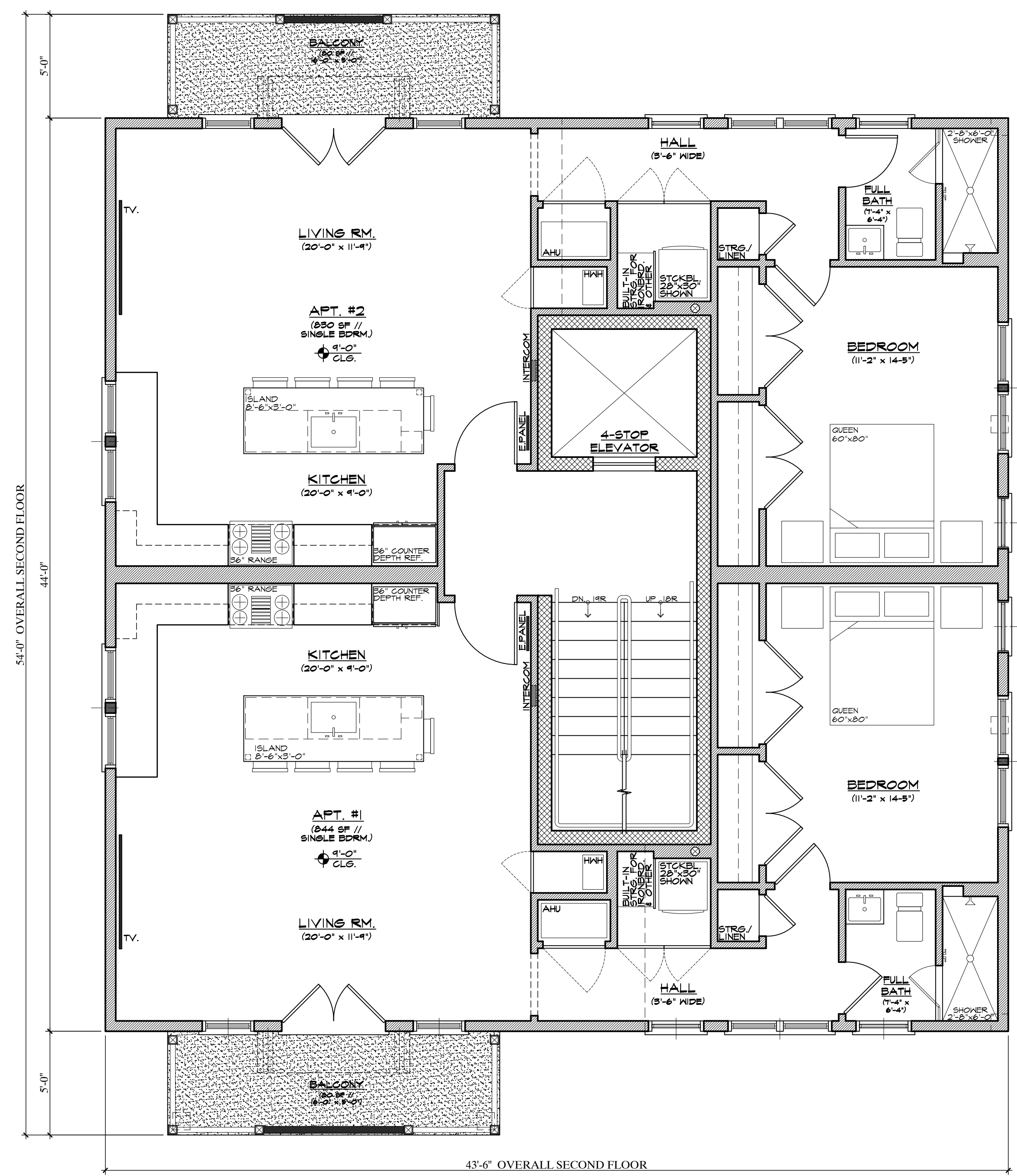
227 EAST MAIN STREET
MIXED USE NEW CONSTRUCTION
MANASQUAN, NEW JERSEY 08736

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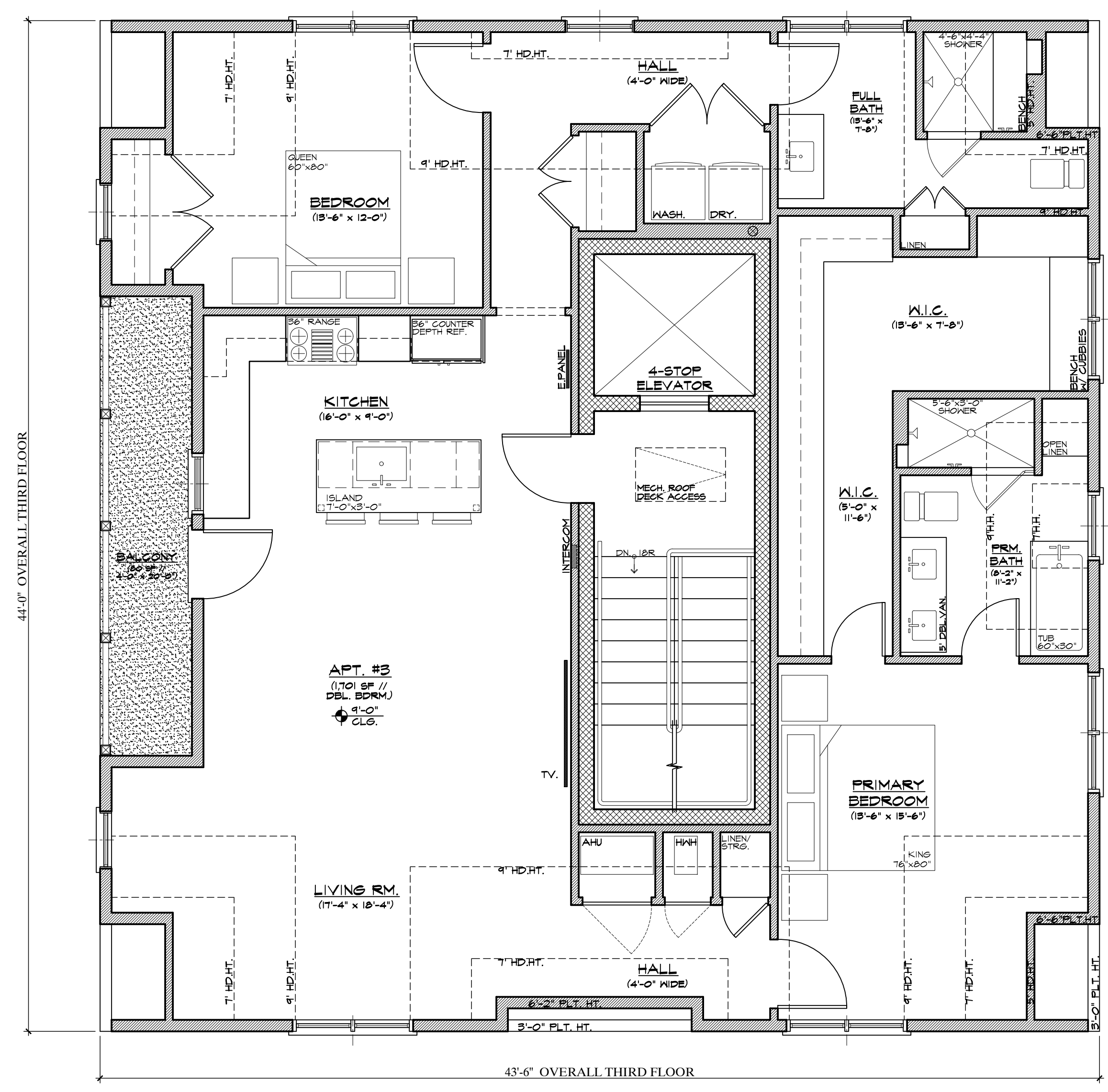
DRAWN BY: LMC
REVIEWED BY: BTM

REVISIONS

SHEET TITLE SECOND & THIRD FLOOR UNIT PLANS	
SCALE AS NOTED	SHEET NUMBER
ISSUE DATE 8/9/23	A-03
PROJECT NUMBER 2230	
SHEET 3 OF 6	



2 SINGLE BEDROOM UNITS
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 DOUBLE BEDROOM UNIT
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

BRENDAN T. MCHUGH
NJ LICENSE NO: 16404

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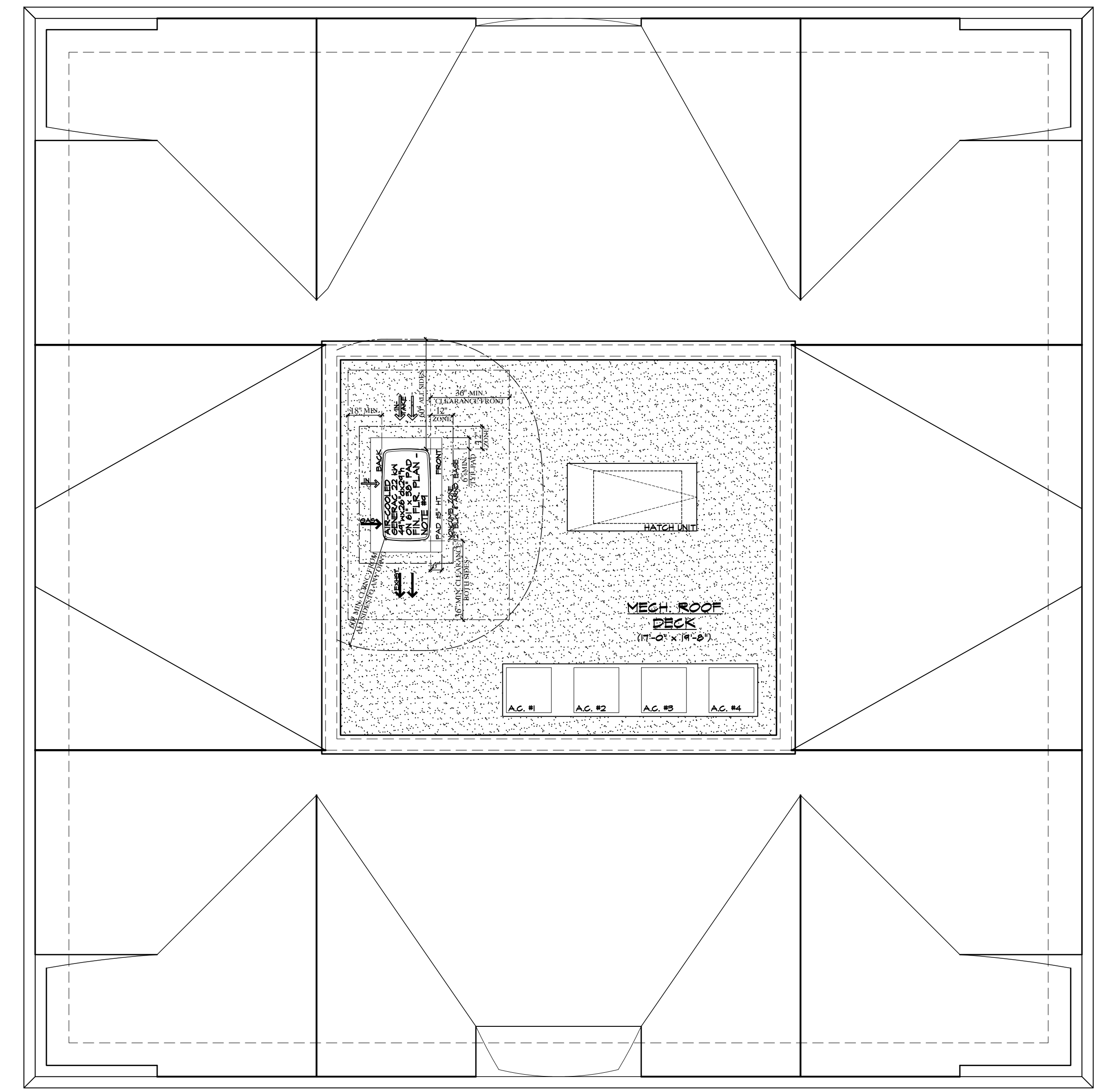
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REVIEWED BY: BTM

REVISIONS

SHEET TITLE
ROOF PLAN WITH MECHANICAL ROOF DECK
SCALE
AS NOTED
SHEET NUMBER
A-0.4
ISSUE DATE
8/9/23
PROJECT NUMBER
2230
SHEET 4 OF 6



ROOF PLAN WITH MECHANICAL DECK
SCALE: 1/4" = 1'-0"



NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

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REVISIONS

SHEET TITLE NORTHEAST & NORTHWEST ELEVATIONS		SHEET NUMBER
SCALE AS NOTED	ISSUE DATE 8/9/23	A-05
PROJECT NUMBER 2230	SHEET 5 OF 6	



SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

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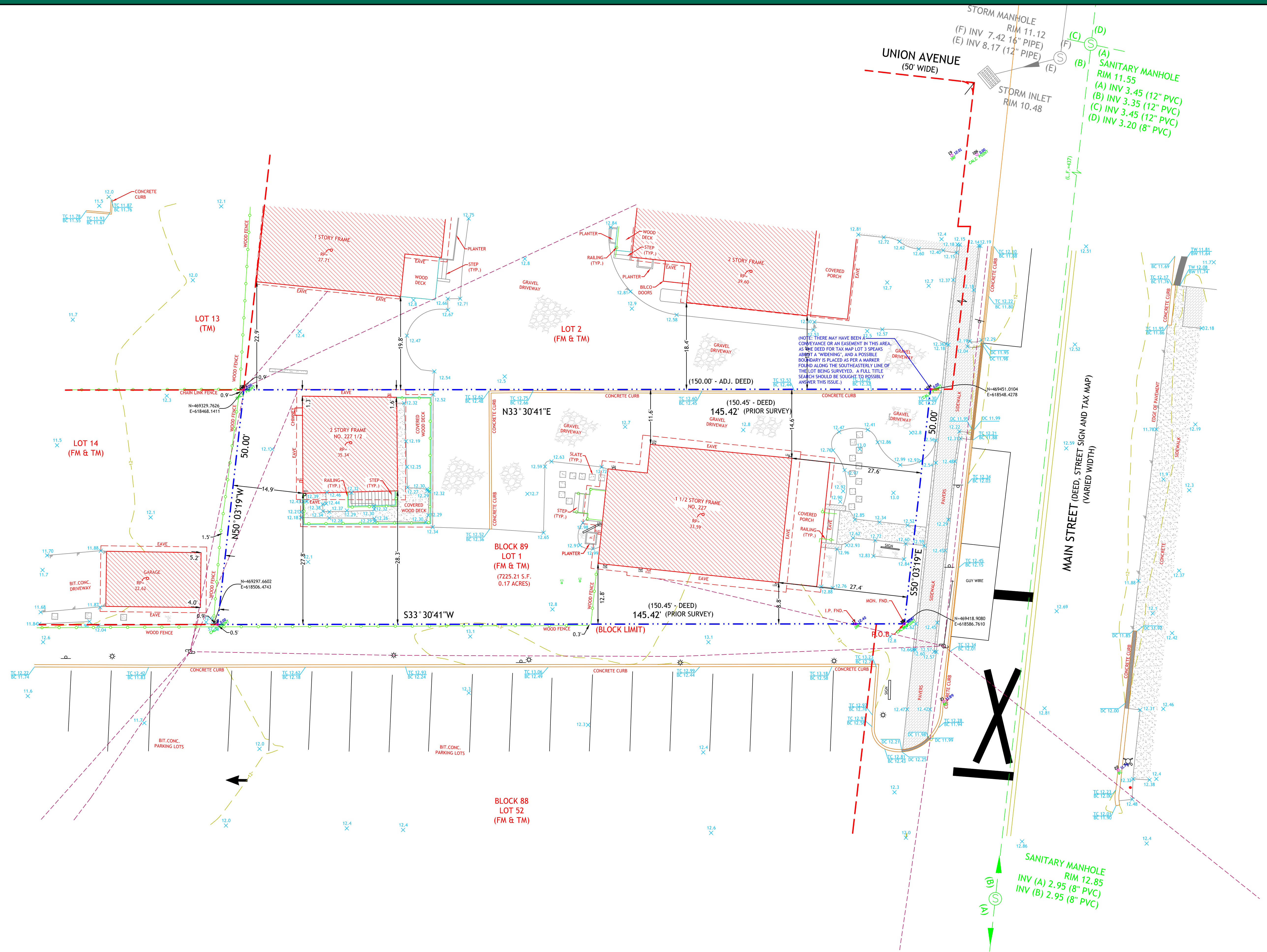
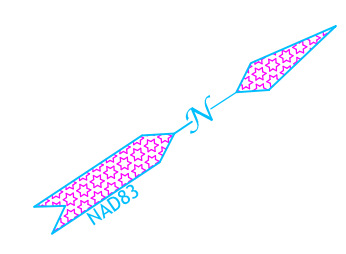
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REVIEWED BY: BTM

REVISIONS

SHEET TITLE SOUTHWEST & SOUTHEAST ELEVATIONS		SHEET NUMBER
SCALE AS NOTED	ISSUE DATE 8/9/23	A-06
PROJECT NUMBER 2230		
SHEET 6 OF 6		

A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003, C.14 (C45:8-36.3) AND NJAC 13:40-5.1 (D)



- LEGEND:**
- GUY WIRE
 - BOLLARD
 - ⊕ FIRE HYDRANT
 - ⊕ SIGN
 - ⊕ UTILITY POLE
 - ⊕ GAS METER
 - ⊕ CLEAN OUT
 - ⊕ ELECTRIC METER
 - ⊕ UNDERGROUND ROOF DRAIN
 - ⊕ AIR CONDITIONING UNIT
 - ⊕ ABOVE GROUND LEADER
 - FORCE LINE
 - STONE GRAVEL
 - BRICK PAVERS
 - CONCRETE PAVING
 - DEPRESSED CURB
 - EDGE OF BITUMINOUS CONCRETE PAVING
 - OVERHEAD WIRE

NOTES:

1. THIS SURVEY DOES NOT PURPORT TO IDENTIFY, IF ANY, ENCROACHMENTS, WETLANDS, UTILITIES, SERVICE LINES OR STRUCTURES BELOW GROUND; PROPERTY SUBJECT TO DOCUMENTS OF RECORD;
2. NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THIS PROPERTY IS CLAIMED BY THE STATE OF N. J. AS TIDELANDS;
3. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY THE LAND SURVEYOR FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN THE CERTIFICATION EITHER DIRECTLY OR INDIRECTLY;
4. ONLY COPIES FROM THE ORIGINAL SURVEY MARKED WITH AN ORIGINAL PROFESSIONAL LAND SURVEYORS EMBOSSED SEAL SHALL BE CONSIDERED VALID COPIES; SIGNATURE AND EMBOSSED SEAL SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE ADOPTED BY THE N. J. STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS;
5. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS ILLEGAL AND PUNISHABLE BY LAW;
6. OFFSETS SHOWN HEREON ARE NOT TO BE USED AS A BASIS FOR ANY CONSTRUCTION OF PERMANENT STRUCTURES I.E. BUILDINGS, SHEDS, FENCES, ETC.;
7. SUBJECT TO EASEMENTS & RESTRICTIONS OF RECORD, IF ANY;
8. HORIZONTAL DATUM IS NAD83 AND THE VERTICAL DATUM IS NAVD83;
9. THE SURVEY SHOWN HEREIN, AND/OR TOPOGRAPHY WAS MAPPED UTILIZING TRADITIONAL SURVEY METHODS, ROBOTICS, RECTIFIED ORTHO PHOTOGRAPHY, PHOTOGRAMMETRIC MAPPING, REMOTE SENSING, AIRBORNE/MOBILE LASER SCANNING AND OTHER SIMILAR PRODUCTS, TOOLS OR TECHNOLOGIES AS THE BASIS FOR SHOWING THE LOCATION OF CERTAIN FEATURES (EXCLUDING BOUNDARIES) WHERE GROUND MEASUREMENTS WERE NOT OTHERWISE NECESSARY TO LOCATE THOSE FEATURES TO AN APPROPRIATE AND ACCEPTABLE ACCURACY RELATIVE TO A NEARBY BOUNDARY ACCORDING TO CURRENT ALTA SURPS STANDARDS;
10. NOTE: THE PROPERTY SHOWN HEREIN HAD VEHICLES/PILED ITEMS/DEBRIS IN SPOTS WHEN THE SURVEY WAS PERFORMED. DETAILS ARE THEREFORE LIMITED TO THOSE VISIBLE AND ABOVE GROUND AT THE TIME.

DESCRIPTION:

DESCRIPTION OF PROPERTY SITUATED IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY, BEING KNOWN AS LOT 1 IN BLOCK 89 AS SHOWN ON THE OFFICIAL TAX MAP OF THE SAME, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTHWESTERLY LINE OF MAIN STREET (VARIED WIDTH), WHERE THE SAME IS INTERSECTED BY THE DIVISION LINE OF THE LOT TO BE DESCRIBED AND ITS ADJOINER TO THE SOUTHEAST, AND FROM THE SAID BEGINNING POINT RUNNING, THENCE;

- 1) S 33°34'03" W A DISTANCE OF 150.45', ALONG THE SAID LINE TO A POINT, THENCE;
- 2) N 49°56'57" W A DISTANCE OF 50.00' TO A POINT, THENCE;
- 3) N 33°34'03" E A DISTANCE OF 150.45' TO A POINT, IN THE SAID LINE OF MAIN STREET, THENCE;
- 4) S 49°56'57" E A DISTANCE OF 50.00', ALONG THE SAID LINE OF MAIN STREET, TO THE POINT AND PLACE OF BEGINNING.

HAVING AN AREA OF 7474.39 SQUARE FEET, OR 0.171 ACRES.

CERTIFIED TO:

KBA ENGINEERING SERVICES, LLC.

REVISION BOX	
1) MOD. BOUNDARY UPON RECEIPT OF MORE INFO. 8/24/23	
SIGNATURE DATE: 3-06-2023	
ALAN R. BOETTGER PROFESSIONAL LAND SURVEYOR N.J. LICENSE NO. 41997	

CLEARPOINT SERVICES LLC
Professional Land Surveyors

Headquarters | 440 Norman Road | Suite 101 | Jackson, NJ 08527
New York Office | 225 Dutton Avenue | Suite 201 | Roseton, NY 10960
Florida Office | 241 Bay Avenue | Suite 205 | Kissimmee, FL 34741
Phone: 908-443-4443
www.clearpoint-services.com

OUTBOUND & TOPOGRAPHIC SURVEY PREPARED FOR 227 - 227 1/2 EAST MAIN STREET -LOT 1 - BLOCK 89- SITUATED IN THE BORO OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY			
JOB NO. 23-35158	SCALE 1"=10'	DATE: 3-06-2023	TITLE NO. 0X-13578205
			PM - EM